



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Krissy Gilmore, Principal Planner, krissy.gilmore@slcgov.com or 801-535-7780
Date: August 14, 2019
Re: Navajo Street- Planned Development and Conditional Use (PLNSUB2019-00461 & PLNPCM2019-00557)

Planned Development & Conditional Use

PROPERTY ADDRESS: 1017 S Navajo Street/1335 W Mead Avenue
PARCEL ID: 15-11-301-001-0000
MASTER PLAN: Westside
ZONING DISTRICT: R-1/5,000 (Single Family Residential)

REQUEST: A request by Tom Candee, project architect, for a Planned Development and Conditional Use to accommodate the subdivision of a lot resulting in one new lot. The applicant is proposing to retain the existing single-family home and to construct a new single-family home with an attached basement Accessory Dwelling Unit (ADU). Planned Development approval is required due to the requested reduced front yard setback, allowance of a 2-foot encroachment into the side and rear yard setbacks, and a proposed grade change of more than 4 feet. Conditional Use approval is required due to the proposed basement Accessory Dwelling Unit. Currently, the property is zoned R-1-5,000 (Single Family Residential).

RECOMMENDATION: Based on the analysis and findings listed in the staff report, planning staff recommends the Planning Commission approve the Planned Development and Conditional Use. This recommendation is based on the conditions of approval listed below. Final details regarding these conditions of approval are delegated to planning staff.

1. Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations and requirements from other city departments still apply.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Plan Set](#)
- C. [Application Materials Provided by Applicant](#)
- D. [Property and Vicinity Photos](#)
- E. [R-1/5,000 Zoning Standards](#)
- F. [Planned Development Standards](#)
- G. [ADU Standards](#)

- [H. Conditional Use Standards](#)
- [I. Public Process & Comments](#)
- [J. Department Review Comments](#)

PROJECT DESCRIPTION:

PROPOSAL

The applicant is requesting Planned Development approval in order to accommodate the subdivision of a lot which would retain the existing home and also create a new building lot. Parcels in the R-1/5,000 zoning district establish the front yard setback by taking the average front yard setbacks of existing buildings within the block face. In this case, that would be 28'-10". If there are no buildings within the block face, the front yard setback is 20' (20 feet). The applicant is requesting an established setback for Lot 2 of 20'. The applicant is also requesting a grade change greater than 4' in the side and rear yards. In both cases the grade change would be 5'-5". In addition, the owner is requesting two staircases leading to the basement be allowed to encroach into the side yard and rear yard setbacks. The side yard setback is 4' and the staircase projects approximately 2' into the setback. The rear yard setback is 20' and the staircase projects approximately 2' into the setback.

SITE OVERVIEW

An existing single family home built in 1946 sits on the western portion of the lot, while the southern portion of the lot contains a garage. The applicant is proposing to retain the existing home and demolish the existing garage in order to build a new single family home with a basement Accessory Dwelling Unit. As shown on the map to the right, the property is surrounded by single family homes to the north, east and south also zoned R-1/5,000 and R-1/7,000 to the west.

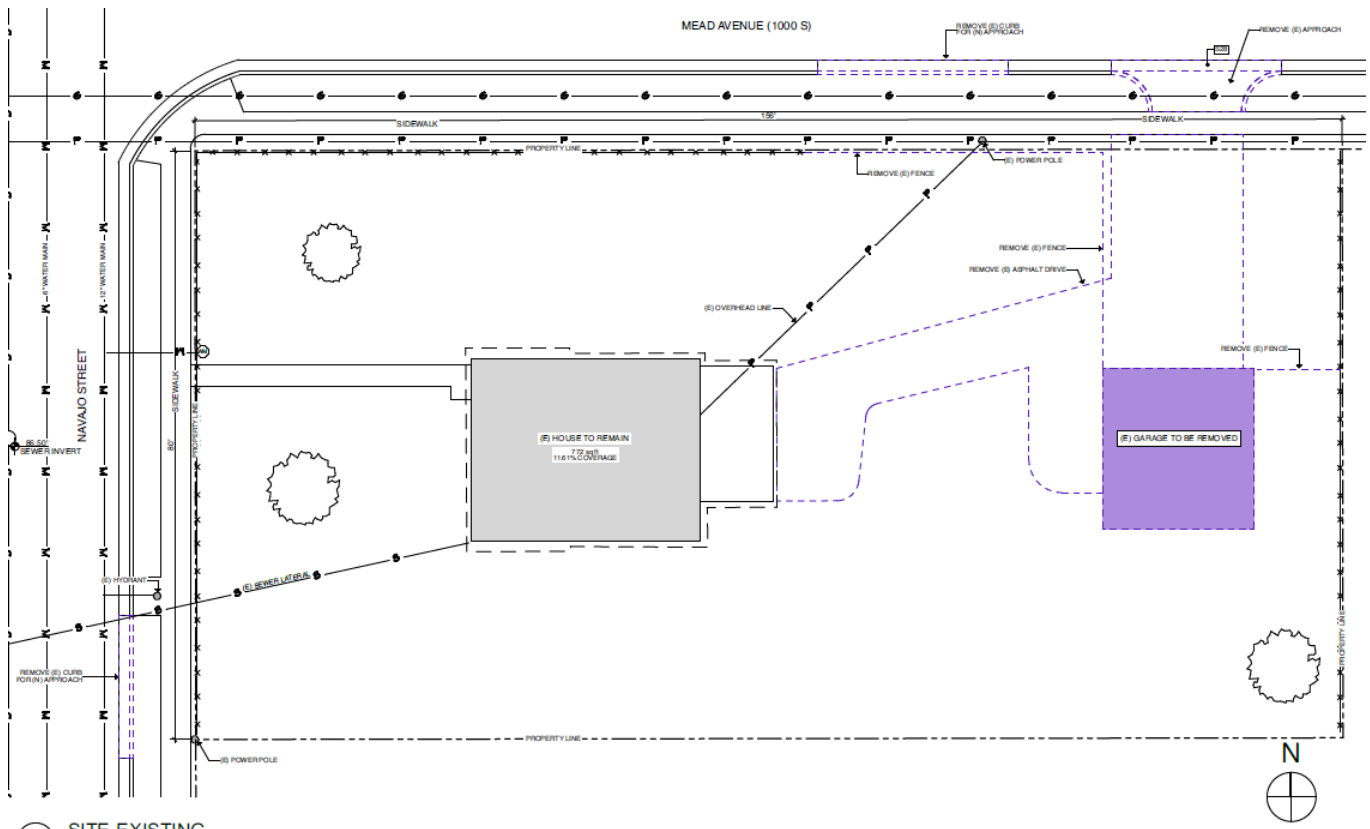


SITE PLAN

The applicant is proposing to subdivide the lot down the center of the property to create one new lot with dimensions of approximately 80' and 72'-11" feet wide. As depicted on the submitted concept plans, Lot 1 where the existing house sits would be approximately 6,646 square feet in area and Lot 2 would be approximately 5,833 square feet in area. As such, both of the proposed lots would meet the minimum area requirement of 5,000 square feet in the R-1/5,000 zoning district.

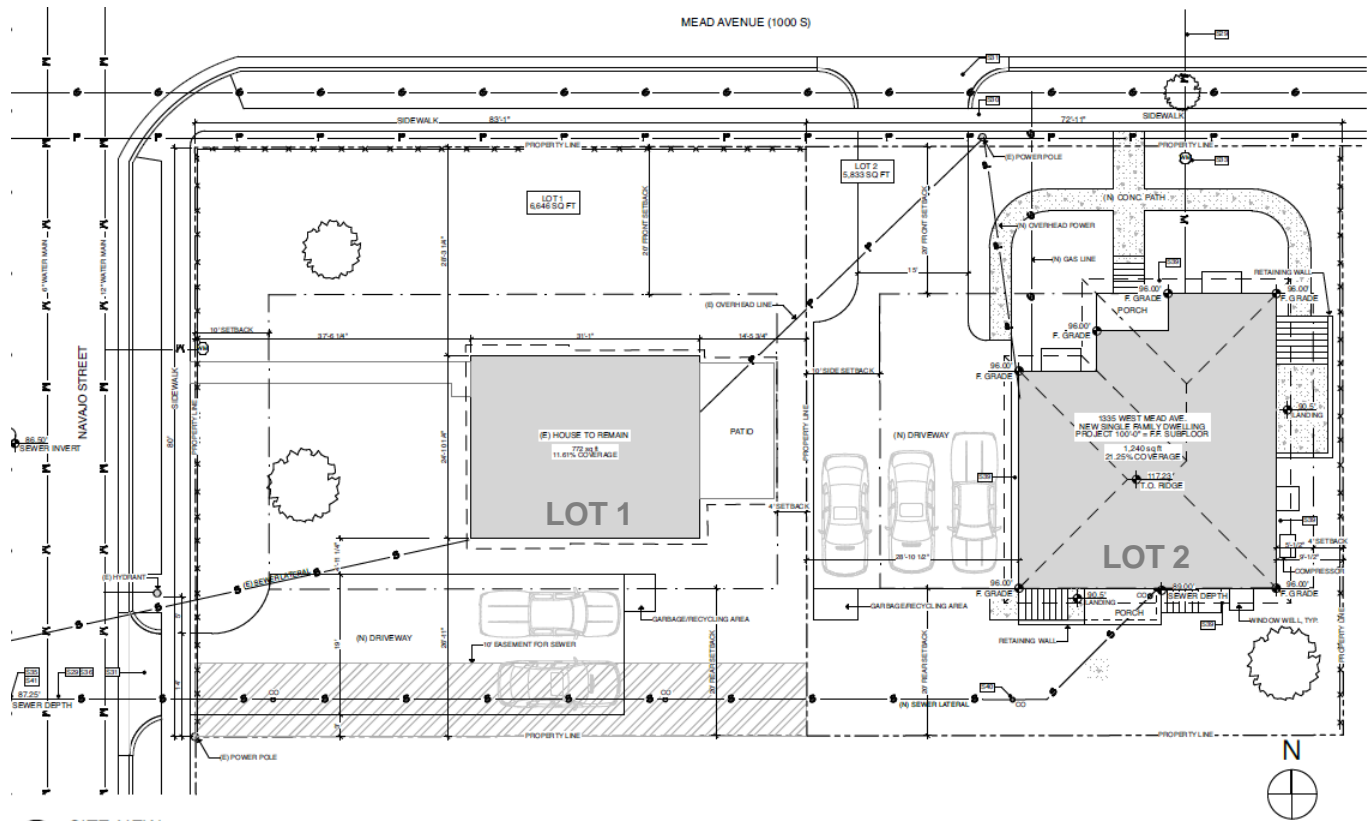
Lot 1 (West): The existing single family home will remain. The detached garage will be demolished. A new curb cut will be made on the southwest side of the lot to allow a driveway and accommodate the required parking on the south side yard setback of the home. The home on Lot 1 would have primary façade features along Navajo Street.

Lot 2 (East): Lot 2 would have direct driveway access off of Mead Avenue. The driveway would be accommodated by a new curb cut and would provide three parking spaces on the west side of the newly constructed home. Lot 2 would also accommodate an attached basement Accessory Dwelling Unit (ADU) and basement hobby shop that will be used as an art studio. The proposed ADU has one bedroom and one bathroom and is approximately 767 square feet. There is one onsite parking spot provided for the ADU. The ADU will be accessed from a basement walk-out entrance at the rear of the home.



1 SITE-EXISTING
SCALE 1/8" = 1'-0"

Existing Site Plan



1 SITE-NEW
SCALE 1/8" = 1'-0"

Proposed Site Plan

KEY CONSIDERATIONS:

The key consideration listed below were identified through planning staff's analysis of the project.

1. Reduced Front Yard Setback
2. Side Yard and Rear Yard Setback Encroachment
3. Grade Change
4. Planned Development Standards
5. Accessory Dwelling Unit Conditional Use

Reduced Front Yard Setback

The proposed subdivision would create one new lot which would not meet the front yard setback standard as specified within Chapter 21A.24.070.C: R-1/5,000 Single-Family Residential District of the Zoning Ordinance and required by Chapter 20.12.020.C: Lot Design Standards of the Subdivision Ordinance for all new lots. The Zoning Ordinance requires that *“the minimum depth of the front yard for all principal buildings shall be equal to the average of the front yards of existing buildings within the block face. Where there are no existing buildings within the block face, the minimum depth shall be twenty feet (20’).”* In the case of Lot 2, the required setback if not modified would be 28'-10”.

As shown below, the requested 20’ setback would be smaller than the properties to the east but is largely not out of character with the block face, especially when considering the parcels across the street. Additionally, the block face is smaller when compared to many Salt Lake City neighborhoods limiting the number of homes to compare it to. By granting relief from this setback requirement, the existing home on proposed Lot 1 is more likely to be preserved rather than demolished and replaced by a larger home that's out of scale with the rest of the homes on the block face and in the general area. As the lot stands, a large addition could also be constructed on the lot that may jeopardize the architectural integrity of the existing home. The proposed subdivision, though it creates a smaller front yard setback than found on the block face, would allow for the development of Lot 2 with a home that is compatible with the rest of the homes on the block face and in the neighborhood.



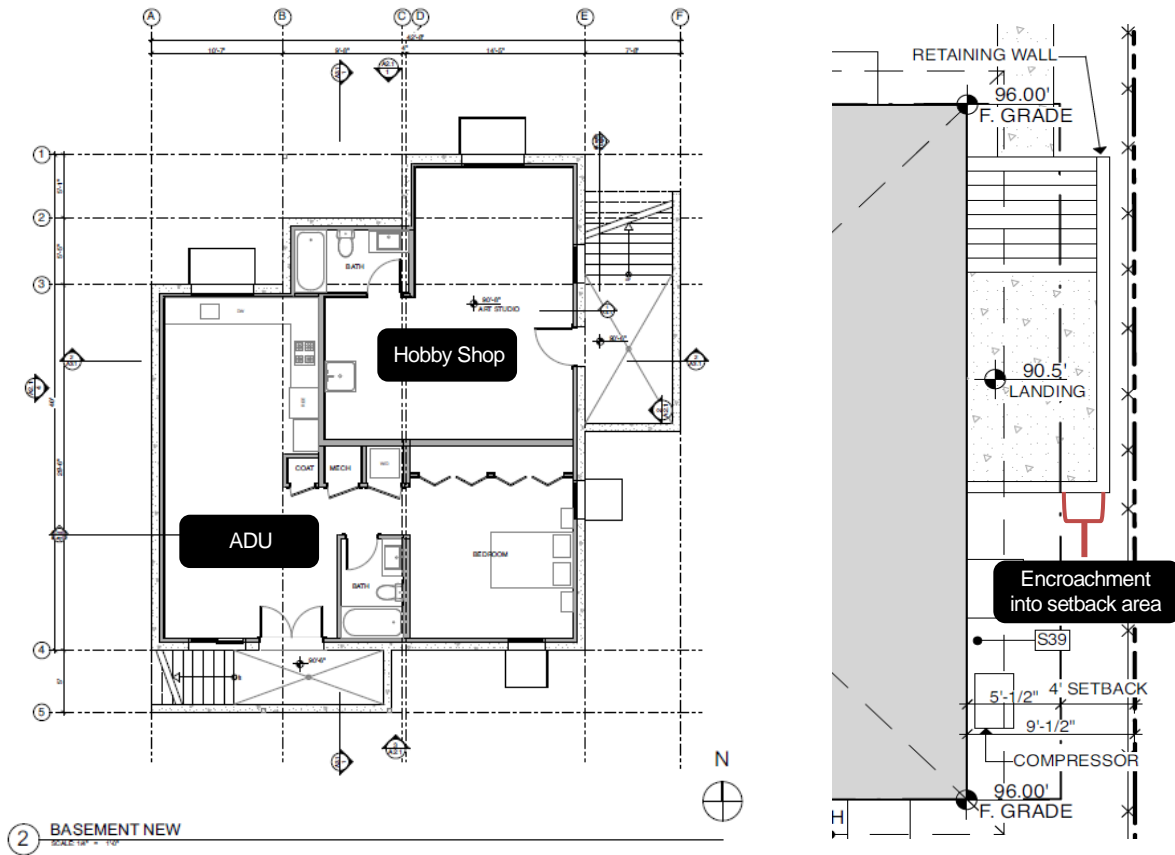
Block face front yard setbacks

Side and Rear Yard Setback Encroachments

The applicant requests approval for an encroachment into the 4’ required side yard setback to maximize the off-street parking availability. The allowance of the encroachment would allow for the proposed stairway to the basement hobby shop. The proposed home has a setback of 9’-.5”. The proposed stairway would encroach approximately 2’ into the 4’ required setback (see graphic on next

page). The primary reason for the setback reduction is to allow for a more usable hobby shop (proposed as an art studio) in the basement.

The applicant also requests approval for an encroachment into the 20' required rear yard setback. The allowance of the encroachment would allow for the proposed stairway to the basement Accessory Dwelling Unit. The proposed stairway would encroach approximately 2' into the 20' required setback.



Basement floor plan showing both the ADU and Hobby shop

Grade Change

According to Chapter 21A. 36 of the Zoning Ordinance, the grade of any lot shall not be altered above or below established grade more than four feet (4') at any point for the construction of any structure or improvement. Lot 2 is proposed to have a grade change for two retaining walls of greater than 4' in the rear and side yards. The retaining walls are proposed at 5'-5" to accommodate the basement staircases. Within the front, corner side, side, and rear yard areas, proposals to modify established grade more than four feet (4') can be reviewed and approved as a special exception or under a Planned Development.

Staff found that the setback encroachment proposals and grade change proposals result in a project that is still compatible with surrounding properties and achieves the objectives of a planned development through a carefully-designed project.

Planned Development Standards

The planned development process allows applicants to modify zoning and subdivision regulations to achieve a more enhanced product and enable development that's more compatible and congruent with adjacent and nearby land developments.

The applicant feels their proposal achieves objective E, as the proposed new home would be constructed as a "passive house" that is highly energy efficient with features such as increased insulation and whole-house ventilation system. The home employs passive house principles, which the applicant claims are the most rigorous energy standards in the US today.

The applicant also feels they meet objective C. The ADU provides a type of housing not commonly found in this primarily single family neighborhood. It allows for the creation of a more affordable unit and may allow the owner of the property to make income allowing them to stay in their home long term. Again, by subdividing the lot, it is more likely that the existing home is preserved rather than demolished and replaced with a large single-family home. Though not within a historic district, the existing bungalow-style home contributes to the overall character of the neighborhood. Additionally, creating a smaller lot would create a smaller building envelope to work with. In general, a smaller single-family home would be more compatible with the size and scale of the other homes on the block face.

The proposal also meets objective F, as the Westside Master Plan calls for creative infill techniques to increase the housing supply in the area while keeping with the established community character. Accessory Dwelling Units are not commonly found in the Westside neighborhood but are able to accommodate additional housing units while keeping with the character and scale of the neighborhood. Additionally, the Westside Master Plan specifically calls for ADU's as a way to increase density in the area.

Accessory Dwelling Unit Conditional Use

Lot 2 proposes an attached Accessory Dwelling Unit (ADU) in the basement of the home. The proposed ADU has one bedroom and one bathroom and is approximately 767 square feet. Attached Accessory Dwelling Units can be up to 50% of the home's gross square footage. In this case, the ADU is 45% of the 1,713 square foot home. There is one off-street parking space provided for the ADU. There are also two UTA bus stops directly in front of the home on Mead Avenue, as well as on-street parking available. The ADU will be accessed from a basement walk-in entrance at the rear of the home. The proposed Accessory Dwelling Unit appears to meet all standards identified in Attachment G. No anticipated adverse impacts associated with the ADU were found during staff review.

The Westside Master Plan specifically calls for Accessory Dwelling Units in the area as a low impact way to increase the housing supply, stating "...Salt Lake City should expand the geographic area where accessory dwelling units are permitted to include the single-family districts in the Westside. Application of the accessory dwelling unit ordinance in this community would provide opportunities for additional density and a wider variety of housing choices without impacting the predominant development pattern."

C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:

- *The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.*

E. Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:

- *Energy Use And Generation: Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource.*

F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:

- *A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features. (Ord. 8-18, 2018)*

DISCUSSION:

Staff agrees that the setback proposals and grade change proposals result in a project that is still compatible with surrounding properties and achieves the objectives of a planned development through a carefully-designed project. The planned development provides the opportunity to preserve the existing single family home while also accommodating for two new residential units, which is in line with the goals of the planned development process and Westside Master Plan. The front façade of the new home coordinates with the adjacent single family residences and includes material changes for the siding, which serve in providing visual interest when viewed from Mead Avenue.

As discussed above, the proposed Accessory Dwelling Unit appears to meet all standards identified in Attachment G. No anticipated adverse impacts associated with the ADU were found during staff review.

Staff found no comments from city departments that could not be addressed or resolved during a construction permit review.

NEXT STEPS:**Approval of the Planned Development & Conditional Use**

If the requests are approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by other city departments and the planning commission. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings will only be issued once all conditions of approval are met.

Denial of the Planned Development & Conditional Use

If the planned development request is denied (not staff's recommendation), the applicant could subdivide the lot and build a new single-family home provided they meet the zoning standards for the R-1/5,000 zoning district. The applicant would need to reapply for a Conditional Use review for the Accessory Dwelling Unit.

ATTACHMENT A – VICINITY MAP



ATTACHMENT B – PLAN SET

MEAD HOUSE

1335 WEST MEAD AVE
SALT LAKE CITY, UT 84104



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ARCHITECTURE
801-865-7648
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**MEAD HOUSE
1335 WEST MEAD AVE
SALT LAKE CITY, UT 84104**

REVISIONS:

PROJECT NO:

DATE: 7/19/19

DRAWN BY:

SCALE: AS NOTED IN DRAWING

**COVER SHEET
A0.1**

SHEET 2 OF 24

PROJECT TEAM

OWNER: JASON HINDMAN
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ARCHITECT: BRACH DESIGN LLC
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STRUCTURAL ENGINEER: COMPASS ENGINEERING
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PROJECT RENDERING



VICINITY PLAN



SHEET INDEX

PREFIX	ID	Name
A0.1		COVER SHEET
A0.2		EXISTING SITE PLAN
A0.3		NEW SITE PLAN
A0.4		PERSPECTIVE
A0.5		LANDSCAPE PLAN
A1.2		FLOOR PLANS
A1.3		ROOF PLAN & SCHEDULES
A2.1		NEW ELEVATIONS
A3.1		BUILDING SECTION
A4.1		WALL SECTIONS
A4.2		STAIR SECTIONS
MPE.1		ELECTRICAL PLANS
MPE.2		FIRST FLOOR MECHANICAL P...

GENERAL PROJECT INFO

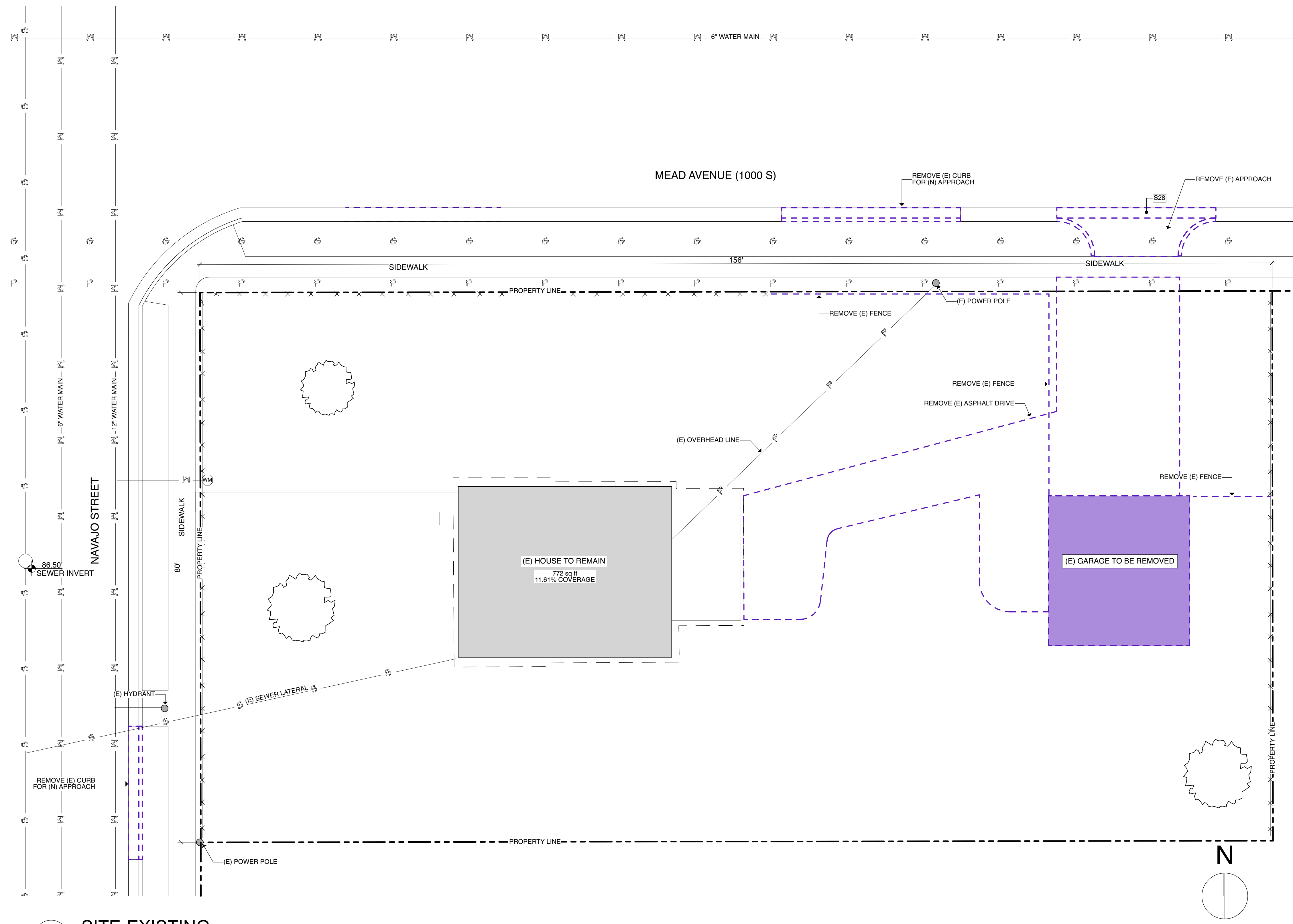
PROJECT ADDRESS:	1335 WEST MEAD AVE SALT LAKE CITY, UT 84104	
SCOPE OF WORK:	NEW SINGLE FAMILY DWELLING & ATTACHED ADU	
ZONING DISTRICT:	R-1-5000	
GOVERNING BUILDING CODES:	2015 IRC	
CONSTRUCTION:	TYPE VB	
OCCUPANCY:	GROUP R-3	
PROJECT AREAS:		
	LOT AREA	SQ. FT.
	TOTAL BUILT	
	SRFC. COVERAGE	1,240
	NEW MAIN FLOOR	1,240
	NEW BASEMENT	473
	TOTAL SFD	1,713
	NEW ADU	767 (45%)



SITE & UTILITY NOTES

- S1. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED NATIVE SOIL, OR COMPACTED ENGINEERED FILL PER CIVIL ENGINEER'S SPECIFICATIONS. IF ORGANIC MATERIAL, SILT OR CLAY IS ENCOUNTERED DURING EXCAVATION, NOTIFY ARCHITECT.
- S2. THE OWNER AND ARCHITECT SHALL DETERMINE WHICH TREES ARE TO BE TRANSPLANTED OR MAINTAINED DURING CONSTRUCTION. ALL TREES DESIGNATED FOR REMOVAL SHALL BE MARKED FOR REVIEW BY THE OWNER OR ARCHITECT.
- S3. TOPSOIL AND LARGE BOULDERS SHALL BE STOCKPILED FOR FUTURE USE BY THE OWNER.
- S4. OBTAIN TOPSOIL FROM LOCAL SOURCES. NO TOPSOIL SHALL BE OBTAINED FROM BOGS OR MARSHES.
- S5. SURFACE WATER SHALL DRAWIN AWAY FROM HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- S6. TREE STUMPS AND ALL DEAD FOLIAGE SHOULD BE FULLY REMOVED FROM AROUND AND UNDER THE BUILDING SITE AND DISPOSED OF OFFSITE SO THAT THEY DO NOT ATTRACT TERMITES AND OTHER PESTS.
- S7. COMPACT UNDER-SLAB AREAS TO MINIMUM 95% DENSITY. BACKFILL AREAS NOT UNDER SLABS OR FOUNDATIONS TO MINIMUM 90% ASTM D-698. PRIOR TO BACKFILLING, WALLS SHALL BE LATERALLY BRACED BY THE FLOOR FRAMING AT THE TOP AND THE BASEMENT SLAB AT THE BOTTOM, OR OTHER ADEQUATE TEMPORARY SHORING WHERE APPLICABLE. FILL WHICH IS DIRECTLY UNDER CONCRETE SLABS ON GRADE SHALL BE A MINIMUM FOUR INCHES OF COMPACTED GRANULAR FILL. BASE FILL FOR CONCRETE SLABS AND WALK TO BE GRADED SAND, FREE OF ORGANIC MATTER. BACKFILL EXCAVATIONS AS PROMPTLY AS WORK PERMITS WITH SUBSOIL GRADED FREE OF LUMPS LARGER THAN 6" ROCKS LARGER THAN 3" AND DEBRIS. BACKFILL AROUND BUILDING AND UP TO EDGE OF WALKS TO DRAIN WATER AWAY FROM BUILDING. LEAVE FINAL GRADED AREAS RAKED SMOOTH. BACKFILLING MATERIAL TO BE FREE OF DEBRIS, ORGANIC MATERIAL AND SILT. BACKFILL TO BE GOOD QUALITY WELL DRAINING SAND OR GRAVEL FOR A MINIMUM 1.5 FEET BACK FROM FACE OF WALL.
- S8. PROVIDE NECESSARY CAUTIONS TO PREVENT SOIL EROSION.
- S9. COMPLY WITH IRC CHAPTER 4 FOR EXCAVATIONS, FILLS, CUTS AND GRADING. FOR CUT SLOPES AND GRADE FILL STEEPER THAN 2:1, REFER TO STRUCTURAL NOTES/DETAILS.
- S10. BALANCE CUT AND FILL FOR SLABS ON GRADE AND DRIVEWAY TO REDUCE EXPORT FROM SITE.
- S11. THE CONSTRUCTION AREA AND ACCESS TO THE CONSTRUCTION AREA SHALL BE AS SMALL AS REASONABLE TO FACILITATE CONSTRUCTION. THIS AREA IS TO BE CLEARLY DEMARCATED AND ROPED OFF TO PREVENT ANY DESTRUCTION OF NATURAL TERRAIN OUTSIDE OF CONSTRUCTION AREA BY CONSTRUCTION VEHICLES.
- S12. THE OWNER AND ARCHITECT SHALL APPROVE THE SITE LAYOUT PRIOR TO DIGGING THE FOOTINGS.
- S13. DIRECT ROOF WATER RUNOFF AND SURFACE RUNOFF AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL MIN. 6" IN THE FIRST 10 FEET, WHERE PROXIMITY TO LOT LINES PROHIBITS THIS, DRAINS OR SWALES SHALL BE USED.
← ARROW INDICATES DIRECTION OF SURFACE DRAINAGE
- S14. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL SLOPE 2% MIN.
- S15. SURFACE DRAINAGE SHALL BE DIVERTED TO STORM SEWERS OR DRYWELLS, NOT ONTO NEIGHBORING PROPERTIES.
- S16. ELEVATION POINTS AT CORNERS OF BUILDINGS AND LOT REFER TO ESTABLISHED GRADE. ELEVATION POINTS AT ROOF LINES REFER TO RIDGES.
- S17. CONTACT ROCKY MOUNTAIN POWER TO COORDINATE THE RELOCATION OF EXISTING ELECTRICAL SERVICE DROPS AND TO ESTABLISH TEMPORARY SERVICE.
- S18. CALL BLUE STAKES BEFORE ANY DIGGING OR EXCAVATING. 811 OR 1-800-862-4111
- S20. THE FRONT YARD AND THE PARK STRIP SHALL BE LANDSCAPED PER CITY ORDINANCE 21A.24.010P.12.A. THE PARK STRIP LANDSCAPING SHALL BE APPROVED BY THE SALT LAKE CITY DEPARTMENT OF URBAN FORESTRY.
- S21. ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS.
- S22. PRIOR TO ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED, AND INSURED CONTRACTOR SHALL FIRST OBTAIN A PUBLIC WAY PERMIT FROM THE SLC ENGINEERING PERMITS OFFICE. A TRAFFIC CONTROL PERMIT MAY BE REQUIRED FROM SLC TRANSPORTATION.
- S23. ALL UTILITIES ONTO SITE WILL BE PLACED WITHIN EASEMENTS OR PLACED UNDERGROUND. UTILITY BOX LOCATIONS MUST MEET 21A.40.160.D OR A CONDITIONAL USE APPLICATION IS NEEDED.
- S24. CONTRACTOR TO CONTACT PUBLIC UTILITIES TO OBTAIN UTILITY PERMIT AND TO SCHEDULE SURVEY, INSPECTIONS, AND WYE CONNECTION 1530 S WEST TEMPLE - 801-483-6727.
- S25. MUD TRACKED ONTO THE STREET MUST BE CLEANED PRIOR TO THE END OF THE WORKDAY.
- S26. CONSTRUCTION SITE MUST BE MAINTAINED IN A NEAT MANNER. TRASH AND OTHER DEBRIS MAY NOT ACCUMULATE OUTSIDE THE DUMPSTER.
- S27. ROADSIDE PARKING IS NOT ALLOWED FROM NOV. 1 THRU APR. 1.
- S28. THE CURB AND GUTTER SHALL BE CONSTRUCTED AS PER APWA 205A, AND 251 OR 25 (IF ANY NEW CURB AND GUTTER ARE NEEDED/REQUIRED BY SLC PUBLIC UTILITIES)
- S29. ALL UTILITY TRENCH WORK AND TRENCH RESTORATION IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA STANDARD PLAN 255. (FOR ANY NEW TRENCH WORK IN STREET)
- S30. ALL SIDEWALK WORK DONE IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 231.
- S31. THE DRIVE APPROACH SHALL BE CONSTRUCTED AS PER APWA 225.
- S32. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, IT IS RECOMMENDED THAT ALL TRIP HAZARDS ON THE PUBLIC SIDEWALK BE REMOVED.
- S33. NEW 3/4" WATER METER, YOKE AND BOX. WATER SERVICE PIPE FROM METER TO HOUSE TO BE AWWA DRINKING WATER APPROVED 1" HDPE 160 lb. MIN. PIPE WITH BRASS OR STAINLESS STEEL FITTINGS OR 3/4" TYPE K SOFT COPPER.
- S34. NEW TAP AT WATER MAIN PER APWA STANDARDS. USE APWA 2012 TYPE A SADDLE CLAMP TAP PER APWA STANDARDS.
- S35. TIE INTO (E) SEWER LATERAL. INSTALL PER APWA STANDARD PLAN #431. USE 6" SDR-35PVC FROM HOUSE TO SEWER LATERAL AT MIN. 1% SLOPE.
- S36. ALL NEW SEWER LINES TO BE 6" PVC-SDR 35 AT MIN. 1% SLOPE.
- S37. CONTRACTOR IS TO ABIDE BY THE UTAH DIVISION OF AIR QUALITY REQUIREMENTS AND SHALL CONTACT THE UTAH DIVISION OF AIR QUALITY AT 801-536-4000.
- S39. ALL GRADING AROUND THE HOME WILL SLOPE AT LEAST 5% AWAY FROM THE HOME FOR PROPER DRAINAGE AS REQUIRED BY IRC R401.3
- S40. INSTALL SEWER CLEAN-OUTS AT PROPERTY LINES, AT ALL CHANGES IN DIRECTION OF SEWER PIPES, AND EVERY 50' OF PIPE.
- S41. PUBLIC WAY PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC WAY.
- S42. PROTECT EXISTING DRIVE APPROACH, SIDEWALK, AND CURB AND GUTTER. DAMAGE SHALL BE REPLACED TO THE NEAREST JOINT PER APWA STANDARDS.
- S43. LANDSCAPE DESIGN IS NOT INCLUDED IN THIS DOCUMENT. LANDSCAPING, LANDSCAPE ACCESSORIES, AND SITE FURNISHINGS WILL BE UNDER SEPARATE CONTRACT BETWEEN OWNDER AND LANDSCAPE CONTRACTOR. EXCEPTION: SOIL AND SITE IMPROVEMENTS REQUIRED FOR BUILDING CONSTRUCTION TO BE INCLUDED IN THIS CONTRACT.
- S44. USE A BARRIER CLOTH UNDER EXTERIOR WALKWAYS TO PREVENT OVERTGROWTH. PROTECT EXISTING TREES AND VEGETATION WHICH ARE TO REMAIN. REPAIR OR REPLACE ANY DAMAGED VEGETATION OR TERRAIN THAT IS INDICATED TO BE PROTECTED OR IS MORE THAN EIGHT FEET FROM THE EDGE OF ANY SPECIFIED CONSTRUCTION AREA.
- S45. A DRAINAGE SYSTEM SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTING. THE DRAINAGE SYSTEM SHALL CONSIST OF THE FOLLOWING ITEMS: DAMP-PROOFING SHALL BE CAREFULLY APPLIED ACCORDING TO MANUFACTURER'S DIRECTIONS TO COVER ALL BELOW GRADE SURFACES TO FORM A WATERTIGHT BARRIER. CARE SHALL BE TAKEN DURING BACKFILLING AND OTHER CONSTRUCTION TO PREVENT DAMAGE TO THE DAMP-PROOFED SURFACE; A FREE-DRAINING BACKFILL OF 3/4" MINIMUM CRUSHED STONE OR GRAVEL THAT IS FREE OF SMALLER PARTICLES SHALL BE USED TO LINE AND FILL THE EXCAVATION FOR ALL BELOW-GRADE WALLS; AN ENGINEERED DRAINAGE SYSTEM MAY BE SUBSTITUTED FOR A FREE DRAINING BACKFILL; A FRENCH DRAIN SHALL BE INSTALLED SO THAT ALL PERFORATED PIPES ARE LOCATED BELOW THE LEVEL OF THE BOTTOM SURFACE OF THE FOOTING. FRENCH DRAIN PERFORATED PIPES SHALL BE INSTALLED WITH THE HOLES DOWN TO ALLOW WATER TO RISE INTO THE PIPE. THE PERFORATED PIPE SHALL BE SURROUNDED AND SET IN A MINIMUM OF 2" DEPTH BED CONSISTING OF 3/4" MIN. CRUSHED STONE FREE OF SMALLER PARTICLES; THE PERFORATED PIPE AND CRUSHED STONE SHALL BE SURROUNDED BY A FILTER MEMBRANE TO PREVENT ADJACENT SOIL FROM WASHING INTO AND CLOGGING THE FRENCH DRAIN SYSTEM; FRENCH DRAINS SHALL BE SLOPED DOWNWARD A MINIMUM OF 1/4" PER FOOT OF RUN AND CONNECTED TO DAYLIGHT.
- S46. RADON CONTROL SYSTEM: A 4" LAYER OF AGGREGATE IS PLACED UNDER THE BUILDING ENVELOPE. A 4" DIAMETER PERFORATED PIPE IS LAID ON THE AGGREGATE THROUGH THE CENTER OF THE STRUCTURE. THE PIPE IS CONNECTED TO AN UNPERFORATED RISER TUBE THAT VENTS TO THE OUTSIDE. SEAL ALL SLAB PENETRATIONS AND PIPE SEAMS COMPLETELY. ACTIVE OR PASSIVE RADON MITIGATION INSTALLED PER EPA GUIDELINES.
- S47. FRONT AND CORNER SIDE YARDS SHALL BE MAINTAINED AS LANDSCAPED YARDS PER SLC CODE 21A.48.090 AND PARK STRIP SHALL BE LANDSCAPED PER 21A.48.060

LINETYPE LEGEND	
---	PROPERTY LINE
- - - -	BUILDING SETBACK LINE
- - - -	CONTOUR EXISTING
- - - -	CONTOUR NEW
—○—	GAS
—●—	WATER
—■—	SEWER
—□—	POWER
—	ROOF LINE
—	JOIST CENTERLINE
—	BEAM/HEADER CENTERLINE
---	HIDDEN LINE
- - - -	4" PERF PIPE IN GRAVEL BED
~ ~ ~ ~	STRAW WATTLE
—□—	TREE PROTECTION FENCE



1 SITE-EXISTING
SCALE: 1/8" = 1'-0"



BRACH DESIGN ARCHITECTURE
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MEAD HOUSE
1335 WEST MEAD AVE
SALT LAKE CITY, UT 84104

REVISIONS:

PROJECT NO:

DATE: 7/19/19

DRAWN BY:

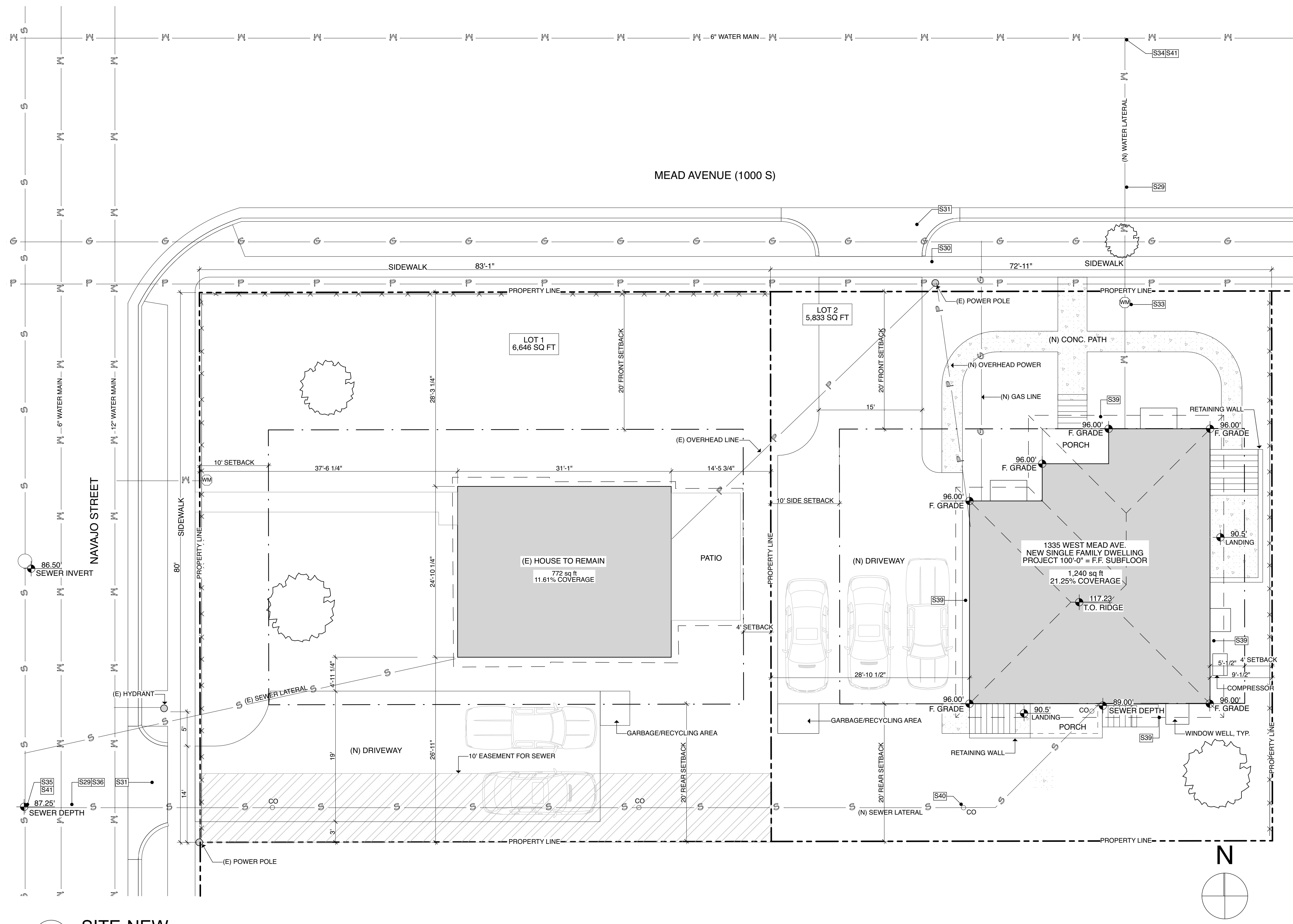
SCALE: AS NOTED IN DRAWING

EXISTING SITE PLAN
A0.2

SITE & UTILITY NOTES

- S1. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED NATIVE SOIL, OR COMPACTED ENGINEERED FILL PER CIVIL ENGINEER'S SPECIFICATIONS. IF ORGANIC MATERIAL, SILT OR CLAY IS ENCOUNTERED DURING EXCAVATION, NOTIFY ARCHITECT.
- S2. THE OWNER AND ARCHITECT SHALL DETERMINE WHICH TREES ARE TO BE TRANSPLANTED OR MAINTAINED DURING CONSTRUCTION. ALL TREES DESIGNATED FOR REMOVAL SHALL BE MARKED FOR REVIEW BY THE OWNER OR ARCHITECT.
- S3. TOPSOIL AND LARGE BOULDERS SHALL BE STOCKPILED FOR FUTURE USE BY THE OWNER.
- S4. OBTAIN TOPSOIL FROM LOCAL SOURCES. NO TOPSOIL SHALL BE OBTAINED FROM BOGS OR MARSHES.
- S5. SURFACE WATER SHALL DRAWN AWAY FROM HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- S6. TREE STUMPS AND ALL DEAD FOLIAGE SHOULD BE FULLY REMOVED FROM AROUND AND UNDER THE BUILDING SITE AND DISPOSED OF OFFSITE SO THAT THEY DO NOT ATTRACT TERMITES AND OTHER PESTS.
- S7. COMPACT UNDER-SLAB AREAS TO MINIMUM 95% DENSITY. BACKFILL AREAS NOT UNDER SLABS OR FOUNDATIONS TO MINIMUM 90% ASTM D-689. PRIOR TO BACKFILLING, WALLS SHALL BE LATERALLY BRACED BY THE FLOOR FRAMING AT THE TOP AND THE BASEMENT SLAB AT THE BOTTOM, OR OTHER ADEQUATE TEMPORARY SHORING WHERE APPLICABLE. FILL WHICH IS DIRECTLY UNDER CONCRETE SLABS ON GRADE SHALL BE A MINIMUM FOUR INCHES OF COMPACTED GRANULAR FILL. BASE FILL FOR CONCRETE SLABS AND WALK TO BE GRADED SAND, FREE OF ORGANIC MATTER. BACKFILL EXCAVATIONS AS PROMPTLY AS WORK PERMITS WITH SUBSOIL GRADED FREE OF LUMPS LARGER THAN 6" ROCKS LARGER THAN 3" AND DEBRIS. BACKFILL AROUND BUILDING AND UP TO EDGE OF WALKS TO DRAIN WATER AWAY FROM BUILDING. LEAVE FINAL GRADED AREAS RAKED SMOOTH. BACKFILLING MATERIAL TO BE FREE OF DEBRIS, ORGANIC MATERIAL AND SILT. BACKFILL TO BE GOOD QUALITY WELL DRAINING SAND OR GRAVEL FOR A MINIMUM 1.5 FEET BACK FROM FACE OF WALL.
- S8. PROVIDE NECESSARY CAUTIONS TO PREVENT SOIL EROSION.
- S9. COMPLY WITH IRC CHAPTER 4 FOR EXCAVATIONS, FILLS, CUTS AND GRADING. FOR CUT SLOPES AND GRADE FILL STEEPER THAN 2:1, REFER TO STRUCTURAL NOTES/DETAILS.
- S10. BALANCE CUT AND FILL FOR SLABS ON GRADE AND DRIVEWAY TO REDUCE EXPORT FROM SITE.
- S11. THE CONSTRUCTION AREA AND ACCESS TO THE CONSTRUCTION AREA SHALL BE AS SMALL AS REASONABLE TO FACILITATE CONSTRUCTION. THIS AREA IS TO BE CLEARLY DEMARCATED AND FENCED OFF TO PREVENT ANY DESTRUCTION OF NATURAL TERRAIN OUTSIDE OF CONSTRUCTION AREA BY CONSTRUCTION VEHICLES.
- S12. THE OWNER AND ARCHITECT SHALL APPROVE THE SITE LAYOUT PRIOR TO DIGGING THE FOOTINGS.
- S13. DIRECT ROOF WATER RUNOFF AND SURFACE RUNOFF AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL MIN. 6" IN THE FIRST 10 FEET. WHERE PROXIMITY TO LOT LINES PROHIBITS THIS, DRAINS OR SWALES SHALL BE USED.
- S14. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL SLOPE 2% MIN.
- S15. SURFACE DRAINAGE SHALL BE DIVERTED TO STORM SEWERS OR DRYWELLS, NOT ONTO NEIGHBORING PROPERTIES.
- S16. ELEVATION POINTS AT CORNERS OF BUILDINGS AND LOT REFER TO ESTABLISHED GRADE. ELEVATION POINTS AT ROOF LINES REFER TO RIDGES.
- S17. CONTACT ROCKY MOUNTAIN POWER TO COORDINATE THE RELOCATION OF EXISTING ELECTRICAL SERVICE DROPS AND TO ESTABLISH TEMPORARY SERVICE.
- S18. CALL BLUE STAKES BEFORE ANY DIGGING OR EXCAVATING. 811 OR 1-800-662-4111
- S20. THE FRONT YARD AND THE PARK STRIP SHALL BE LANDSCAPED PER CITY ORDINANCE 21A.24.010P.12.A. THE PARK STRIP LANDSCAPING SHALL BE APPROVED BY THE SALT LAKE CITY DEPARTMENT OF URBAN FORESTRY.
- S21. ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS.
- S22. PRIOR TO ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED, AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING PERMITS OFFICE. A TRAFFIC CONTROL PERMIT MAY BE REQUIRED FROM SLC TRANSPORTATION.
- S23. ALL UTILITIES ONTO SITE WILL BE PLACED WITHIN EASEMENTS OR PLACED UNDERGROUND. UTILITY BOX LOCATIONS MUST MEET 21A.40.160.D OR A CONDITIONAL USE APPLICATION IS NEEDED.
- S24. CONTRACTOR TO CONTACT PUBLIC UTILITIES TO OBTAIN UTILITY PERMIT AND TO SCHEDULE SURVEY, INSPECTIONS, AND WYE CONNECTION 1530 S WEST TEMPLE - 801-483-6727.
- S25. MUD TRACKED ONTO THE STREET MUST BE CLEANED PRIOR TO THE END OF THE WORKDAY.
- S26. CONSTRUCTION SITE MUST BE MAINTAINED IN A NEAT MANNER. TRASH AND OTHER DEBRIS MAY NOT ACCUMULATE OUTSIDE THE DUMPSTER.
- S27. ROADSIDE PARKING IS NOT ALLOWED FROM NOV. 1 THRU APR. 1.
- S28. THE CURB AND GUTTER SHALL BE CONSTRUCTED AS PER APWA 205A, AND 251 OR 25 (IF ANY NEW CURB AND GUTTER ARE NEEDED/REQUIRED BY SLC PUBLIC UTILITIES)
- S29. ALL UTILITY TRENCH WORK AND TRENCH RESTORATION IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA STANDARD PLAN 255. (FOR ANY NEW TRENCH WORK IN STREET)
- S30. ALL SIDEWALK WORK DONE IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 231.
- S31. THE DRIVE APPROACH SHALL BE CONSTRUCTED AS PER APWA 225.
- S32. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, IT IS RECOMMENDED THAT ALL TRIP HAZARDS ON THE PUBLIC SIDEWALK BE REMOVED.
- S33. NEW 3/4" WATER METER, YOKE AND BOX. WATER SERVICE PIPE FROM METER TO HOUSE TO BE AWWA DRINKING WATER APPROVED 1" HDPE. 1" MIN. PIPE WITH BRASS OR STAINLESS STEEL FITTINGS OR 3/4" TYPE K SOFT COPPER.
- S34. NEW TAP AT WATER MAIN PER APWA STANDARDS. USE APWA 2012 TYPE A SADDLE CLAMP TAP PER APWA STANDARDS.
- S35. TIE INTO (E) SEWER LATERAL. INSTALL PER APWA STANDARD PLAN #431. USE 6" SDR-35PVC FROM HOUSE TO SEWER LATERAL AT MIN. 1% SLOPE.
- S36. ALL NEW SEWER LINES TO BE 6" PVC-SDR 35 AT MIN. 1% SLOPE
- S37. CONTRACTOR IS TO ABIDE BY THE UTAH DIVISION OF AIR QUALITY REQUIREMENTS AND SHALL CONTACT THE UTAH DIVISION OF AIR QUALITY AT 801-536-4000.
- S39. ALL GRADING AROUND THE HOME WILL SLOPE AT LEAST 5% AWAY FROM THE HOME FOR PROPER DRAINAGE AS REQUIRED BY IRC R401.3
- S40. INSTALL SEWER CLEAN-OUTS AT PROPERTY LINES, AT ALL CHANGES IN DIRECTION OF SEWER PIPES, AND EVERY 50' OF PIPE.
- S41. PUBLIC WAY PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC WAY.
- S42. PROTECT EXISTING DRIVE APPROACH, SIDEWALK, AND CURB AND GUTTER. DAMAGE SHALL BE REPLACED TO THE NEAREST JOINT PER APWA STANDARDS.
- S43. LANDSCAPE DESIGN IS NOT INCLUDED IN THIS DOCUMENT. LANDSCAPING, LANDSCAPE ACCESSORIES, AND SITE FURNISHINGS WILL BE UNDER SEPARATE CONTRACT BETWEEN OWNER AND LANDSCAPE CONTRACTOR. EXCEPTION: SOIL AND SITE IMPROVEMENTS REQUIRED FOR BUILDING CONSTRUCTION TO BE INCLUDED IN THIS CONTRACT.
- S44. USE A BARRIER CLOTH UNDER EXTERIOR WALKWAYS TO PREVENT OVERTGROWTH. PROTECT EXISTING TREES AND VEGETATION, WHICH ARE TO REMAIN. REPAIR OR REPLACE ANY DAMAGED VEGETATION OR TERRAIN THAT IS INDICATED TO BE PROTECTED OR IS MORE THAN EIGHT FEET FROM THE EDGE OF ANY SPECIFIED CONSTRUCTION AREA.
- S45. A DRAINAGE SYSTEM SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTING. THE DRAINAGE SYSTEM SHALL CONSIST OF THE FOLLOWING ITEMS: DAMP-PROOFING SHALL BE CAREFULLY APPLIED ACCORDING TO MANUFACTURER'S DIRECTIONS TO COVER ALL BELOW GRADE SURFACES TO FORM A WATERTIGHT BARRIER. CARE SHALL BE TAKEN DURING BACKFILLING AND OTHER CONSTRUCTION TO PREVENT DAMAGE TO THE DAMP-PROOFED SURFACE; A FREE-DRAINING BACKFILL OF 3/4" MINIMUM CRUSHED STONE OR GRAVEL THAT IS FREE OF SMALLER PARTICLES SHALL BE USED TO LINE AND FILL THE EXCAVATION FOR ALL BELOW-GRADE WALLS; AN ENGINEERED DRAINAGE SYSTEM MAY BE SUBSTITUTED FOR A FREE DRAINING BACKFILL; A FRENCH DRAIN SHALL BE INSTALLED SO THAT ALL PERFORATED PIPES ARE BELOW THE LEVEL OF THE BOTTOM SURFACE OF THE FOOTING. FRENCH DRAIN PERFORATED PIPES SHALL BE INSTALLED WITH THE HOLES DOWN TO ALLOW WATER TO RISE INTO THE PIPE; THE PERFORATED PIPE SHALL BE SURROUNDED AND SET IN A MINIMUM OF 2" DEPTH BED CONSISTING OF 3/4" MIN. CRUSHED STONE FREE OF SMALLER PARTICLES; THE PERFORATED PIPE AND CRUSHED STONE SHALL BE SURROUNDED BY A FILTER MEMBRANE TO PREVENT ADJACENT SOIL FROM WASHING INTO AND CLOGGING THE FRENCH DRAIN SYSTEM; FRENCH DRAINS SHALL BE SLOPED DOWNWARD A MINIMUM OF 1/4" PER FOOT OF RUN AND CONNECTED TO DAYLIGHT.
- S46. RADON CONTROL SYSTEM: A 4" LAYER OF AGGREGATE IS PLACED UNDER THE BUILDING ENVELOPE. A 4" DIAMETER PERFORATED PIPE IS LAID ON THE AGGREGATE THROUGH THE CENTER OF THE STRUCTURE. THE PIPE IS CONNECTED TO AN UNPERFORATED RISER TUBE THAT VENTS TO THE OUTSIDE. SEAL ALL SLAB PENETRATIONS AND PIPE SEAMS COMPLETELY. ACTIVE OR PASSIVE RADON MITIGATION INSTALLED PER EPA GUIDELINES.
- S47. FRONT AND CORNER SIDE YARDS SHALL BE MAINTAINED AS LANDSCAPED YARDS PER SLC CODE 21A.48.090 AND PARK STRIP SHALL BE LANDSCAPED PER 21A.48.060

LINETYPE LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	CONTOUR EXISTING
	CONTOUR NEW
	GAS
	WATER
	SEWER
	POWER
	ROOF LINE
	JOIST CENTERLINE
	BEAM/HEADER CENTERLINE
	HIDDEN LINE
	4" PERF PIPE IN GRAVEL BED
	STRAW WATTLE
	TREE PROTECTION FENCE



1 SITE-NEW
SCALE: 1/8" = 1'-0"



BRACH DESIGN ARCHITECTURE
801-865-7648
dave@brachdesign.com

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MEAD HOUSE
1335 WEST MEAD AVE
SALT LAKE CITY, UT 84104

REVISIONS:

PROJECT NO:

DATE: 7/19/19

DRAWN BY:

SCALE: AS NOTED IN DRAWING

NEW SITE PLAN
A0.3



1 FRONT
SCALE: 1/4" = 1'-0"



3 SOUTHEAST
SCALE: 3/16" = 1'-0"



2 SOUTHWEST
SCALE: 3/16" = 1'-0"

MEAD HOUSE
1335 WEST MEAD AVE
SALT LAKE CITY, UT 84104

REVISIONS:

PROJECT NO:

DATE: 7/19/19

DRAWN BY:

SCALE: AS NOTED IN DRAWING

REVISIONS:

PROJECT NO:

DATE: 7/19/19

DRAWN BY:

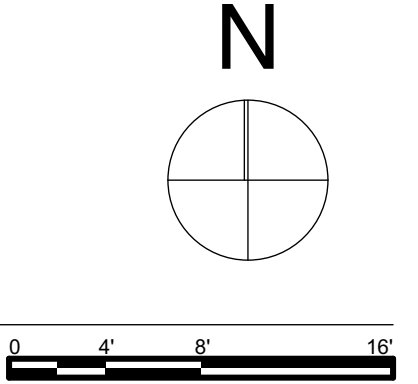
SCALE: AS NOTED IN DRAWING

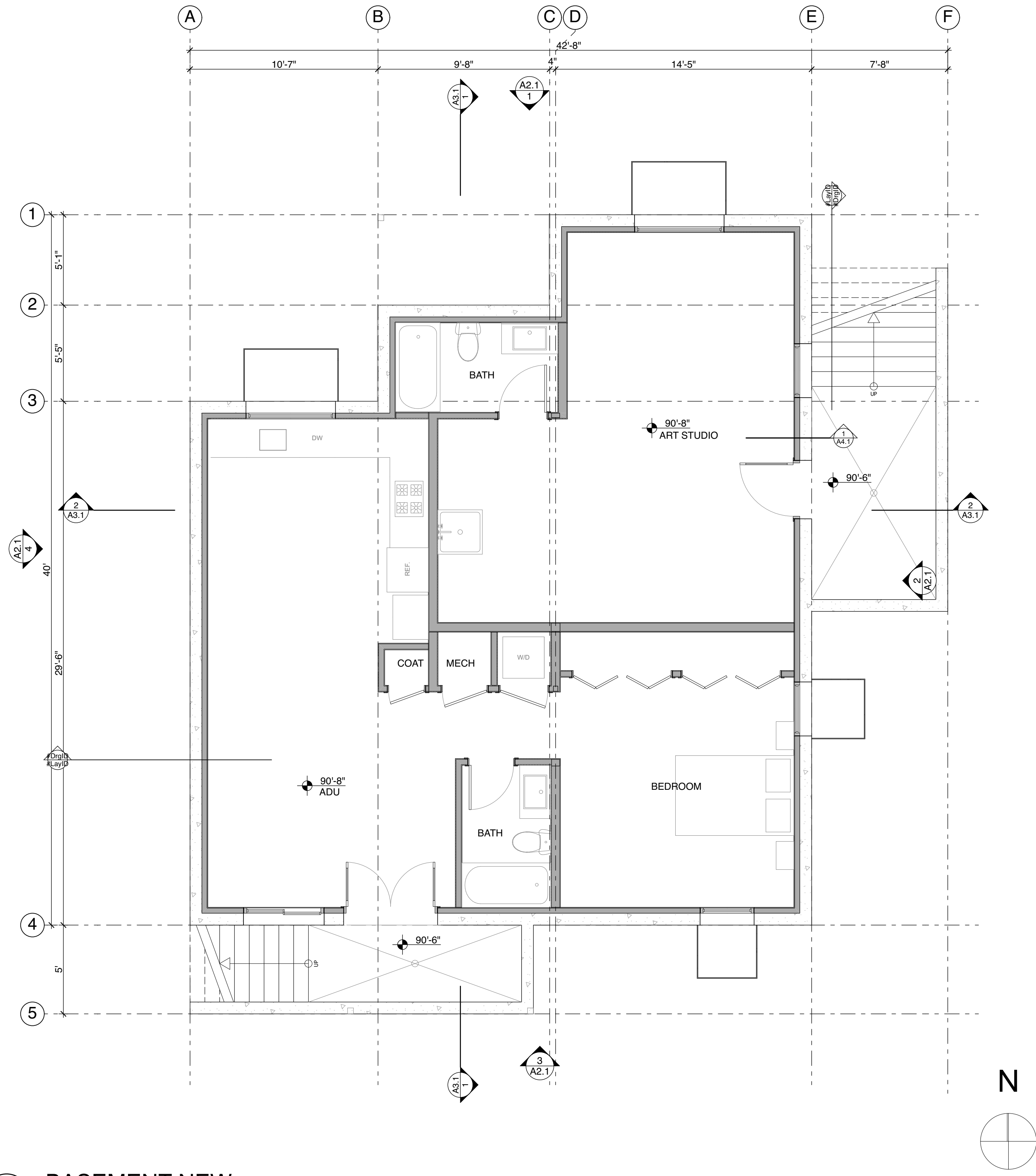
- LANDSCAPE NOTES**
- L1. ALL CONTRACTORS SHALL ABIDE BY 21A.23.010.P12.A, 21A.48.040., 21A.48.050, 21A.48.060, AND 21A.48.100.A.
 - L2. NOT LESS THAN 80 PERCENT OF THE TREES AND SHRUBS USED SHALL BE DROUGHT TOLERANT.
 - L3. PLANTS SHALL BE SELECTED FOR FORM, TEXTURE, COLOR, PATTERN OF GROWTH AND ADAPTABILITY TO LOCAL CONDITIONS.
 - L4. PLANTS SHALL BE USED THAT ARE IDENTIFIED IN THE "SALT LAKE CITY PLANT LIST AND HYDROZONE SCHEDULE" OR LISTED IN "SALT LAKE CITY LANDSCAPE BMP'S FOR WATER RESOURCE AND EFFICIENCY AND PROTECTION."
 - L5. NO TREE SHALL BE PLANTED IN A PARK STRIP WITHOUT FIRST OBTAINING A PERMIT FROM THE URBAN FORESTRY DIVISION OF THE SALT LAKE CITY PUBLIC SERVICES DEPARTMENT.
 - L6. EXISTING TREES OF (2") IN CALIPER THAT ARE REMOVED FROM THE SITE TO ACCOMMODATE DEVELOPMENT SHALL BE REPLACED.
 - L7. ALL SLOPES GRADED OR DISTURBED SHALL BE RESTORED/REPLANTED. RESTORED VEGETATION SHALL CONSIST OF NATIVE OR ADAPTIVE GRASSES, HERBACEOUS PERENNIALS, OR WOODY TREES AND SHRUBS AS APPROPRIATE FOR THE SLOPE, SOIL, AND MICROCLIMATE CONDITIONS.
 - L8. IRRIGATION SHALL BE INSTALLED TO PROVIDE NEEDED WATER FOR AT LEAST THE FIRST (2) YEARS OF GROWTH TO ESTABLISH REVEGETATION OF NATURAL AREAS.
 - L9. TREE PROTECTION FENCING SHALL BE ERECTED TO PROTECT ALL PRESERVED TREES FROM EXCAVATION, FILL, COMPACTION, OR OTHER IMPACTS THAT WOULD THREATEN TREE HEALTH.
 - L10. FENCING SHALL EXTEND (1') IN DISTANCE FROM THE EDGE OF THE DRIP LINE OF A SPECIMEN TREE OR GROUP OF TREES.
 - L11. ALL REQUIRED TREE PROTECTION MEASURES SHALL BE INSTALLED, MEASURED, AND APPROVED BY THE CITY FORESTER PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES.
 - L12. SEE A0.6 FOR EROSION CONTROL BLANKET FOR REVEGETATION ON SLOPES.

- URBAN FORESTRY NOTES**
1. USE CONSTRUCTION FENCING AS CLOSE TO DRIP LINE AS POSSIBLE TO PROTECT TREE.
 2. WATERING FOR TREES WILL CONTINUE THROUGHOUT CONSTRUCTION.
 3. CUTTING OF ROOTS 3" OR MORE MUST BE APPROVED/OVERSEEN BY URBAN FORESTRY.
 4. ROOTS WITHIN THE DRIPLINE OF TREE SHALL BE PRESERVED TO GREATEST EXTENT POSSIBLE.
 5. TREE PRUNING REQUIRES A PERMIT FROM SLC URBAN FORESTRY AND AN ISA CERTIFIED ARBORIST.
 6. PLANNING CODE 21A.48.060 PARAGRAPH D, PARK STRIP TREES-REQUIRES THAT A PARK STRIP SHALL BE PROVIDED AT EVERY 30 FEET.
 7. NO TREE SHALL BE PLANTED IN A PARK STRIP WITHOUT FIRST OBTAINING A PERMIT FROM THE URBAN FORESTRY PROGRAM.
 8. SALT LAKE CITY URBAN FORESTRY PROGRAM SPECIFIES THE FOLLOWING TREE PLANTING REQUIREMENTS:
 - 3-5 FT PARK STRIP-SMALL TREE AT MATURITY (LESS THAN 30 FT TALL)
 - 5-8FT PARK STRIP-HIGH VOLTAGE TRANSMISSION LINES-SMALL TREE AT MATURITY (LESS THAN 30 FT TALL)
 - 5-8FT PARK STRIP-WITH NO OVERHEAD WIRES-MEDIUM TREE AT MATURITY (30-50 FT TALL)
 - 8 FT AND GREATER PARK STRIP-WITH NO OVERHEAD WIRES-LARGE TREE AT MATURITY (50 FT AND GREATER)
 - 8 FT AND GREATER PARK STRIP-WITH HIGH VOLTAGE TRANSMISSION LINES-SMALL TREE AT MATURITY (LESS THAN 30 FT TALL).
- ** OVERHEAD STREET LIGHT, CABLE, FIBER OPTIC AND PHONE LINES DO NOT FALL UNDER THE CATEGORY OF HIGH VOLTAGE TRANSMISSION LINES.**
- USE THE FOLLOWING AS GUIDELINES FOR PLACING TREES:
- 5' FROM WATER METER AND/OR UTILITY BOX
 - 10' FROM FIRE HYDRANT
 - 5-10' FROM RESIDENTIAL DRIVEWAY
 - 5-10' FROM PROPERTY LINE OF ADJOINING PARCEL
 - 5-10' FROM NON-TRAFFIC CONDUCTING SIGNAGE
 - 5-10' FROM UTILITY POLE AND/OR LIGHT
 - 20' FROM AN UNREGULATED INTERSECTION (20' FROM INTERSECTING SIDEWALKS)
 - 30' FROM STOP SIGNS
 - 30' FROM COMMERCIAL DRIVEWAY AND/OR ALLEY
 - 40' FROM AN INTERSECTION WITH TRAFFIC LIGHTS (40' BACK FROM INTERSECTING SIDEWALKS)
 - 15-20' FROM A TREE THAT IS SMALL IN SIZE AT MATURITY(LESS THAN 30' TALL)
 - 20-30' FROM A TRIM THAT IS MEDIUM IN SIZE AT MATURITY (30-50' TALL)
 - 30-40' FROM A TREE THAT IS LARGE IN SIZE AT MATURITY (MORE THAN 50' TALL)

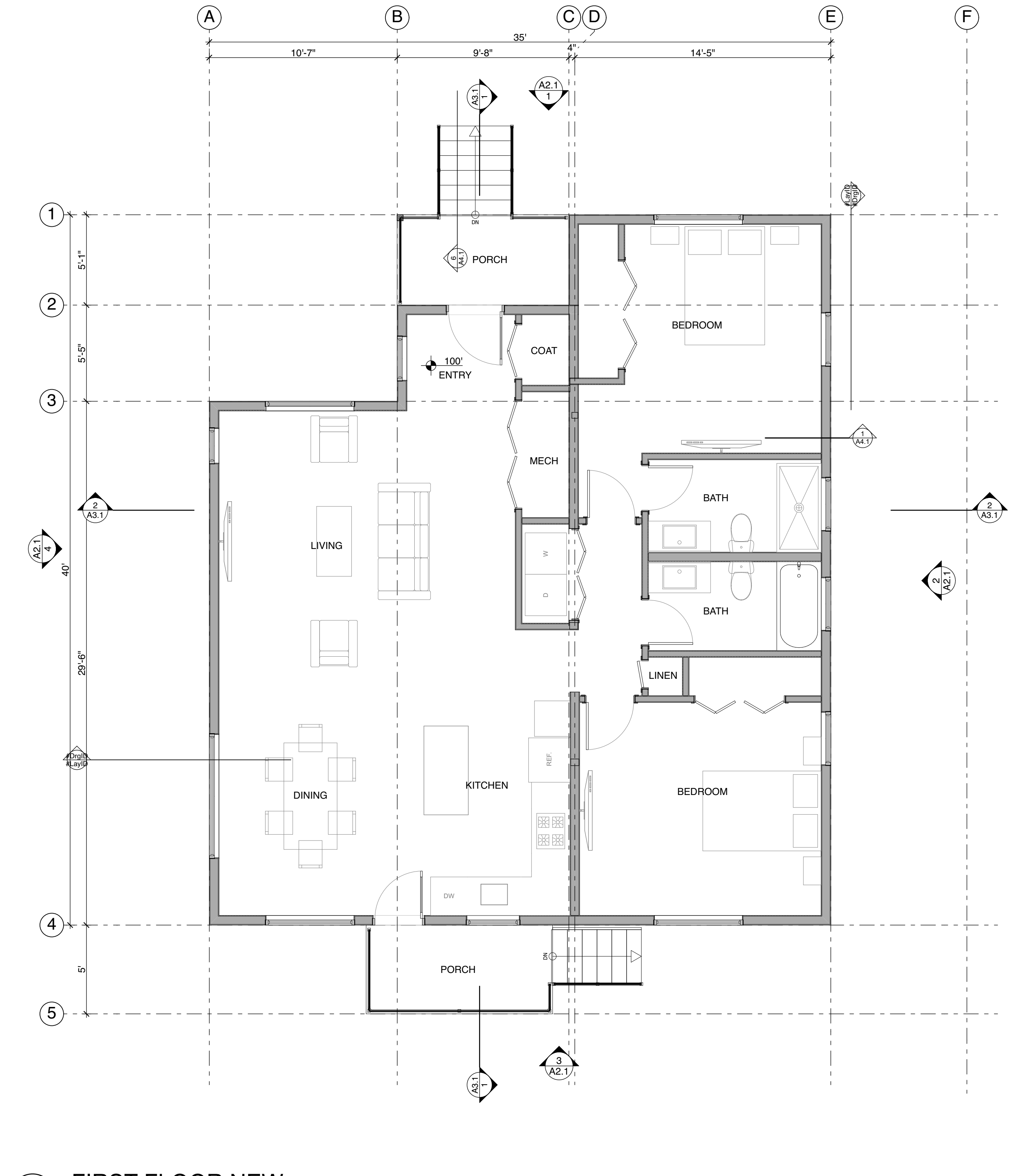


1 SITE-LANDSCAPE
SCALE: 1/8" = 1'-0"

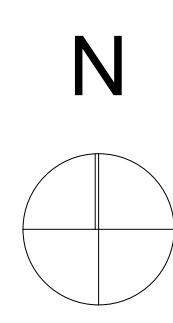




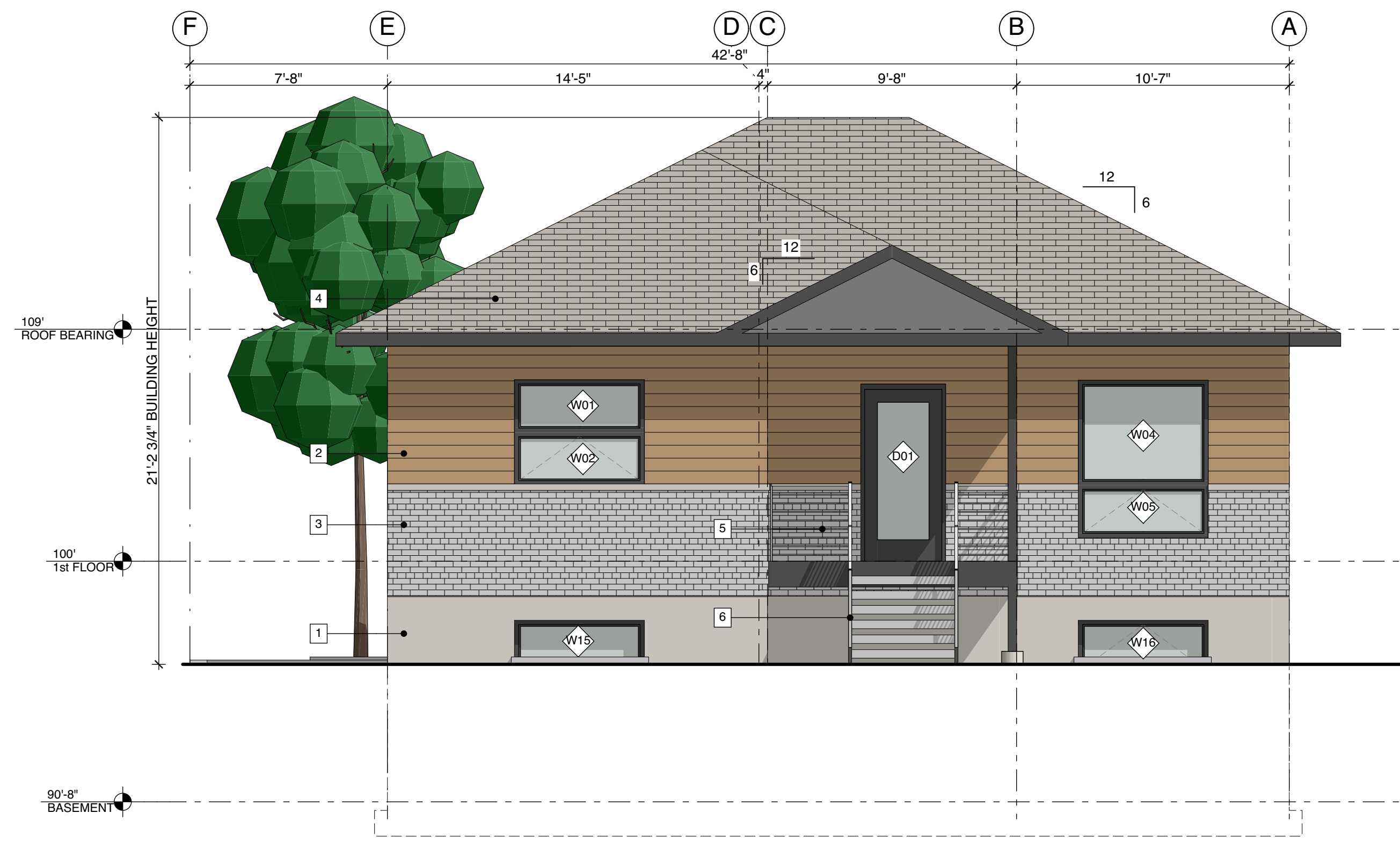
2 BASEMENT NEW
SCALE: 1/4" = 1'-0"



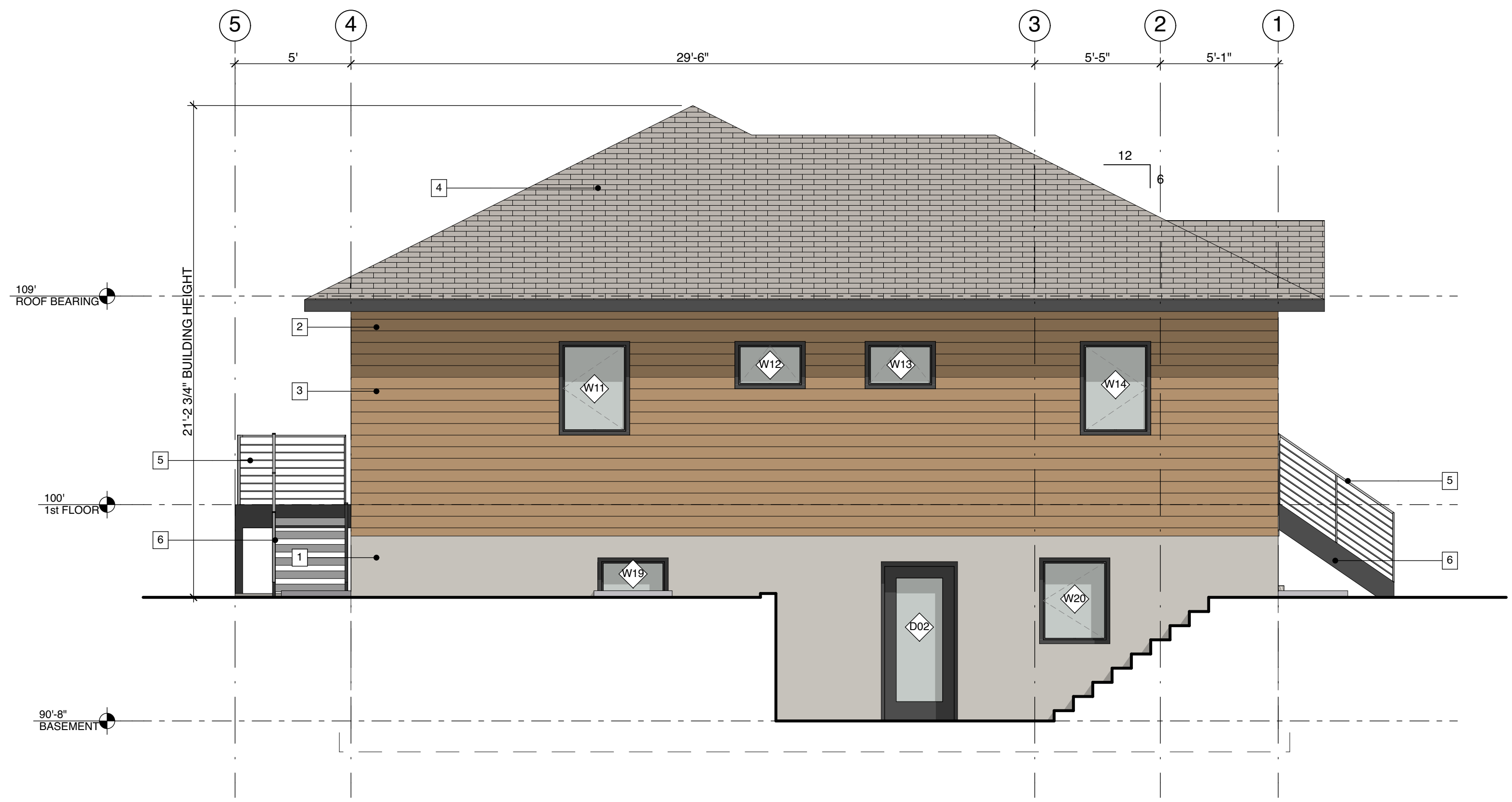
1 FIRST FLOOR NEW
SCALE: 1/4" = 1'-0"



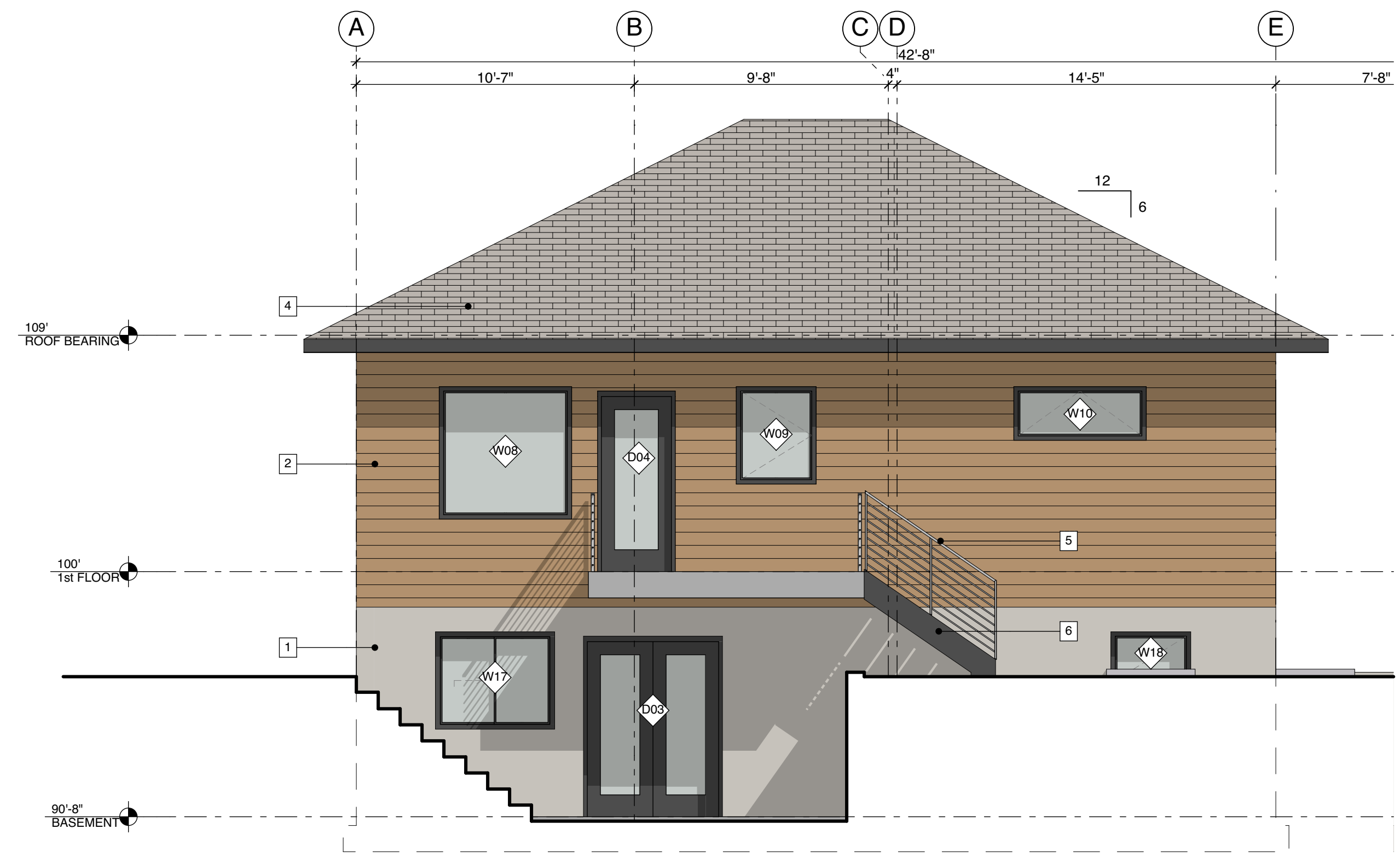
ELEVATION KEYNOTES	
1.	POURED IN PLACE CONCRETE
2.	WOOD SIDING
3.	MASONRY SIDING
4.	ASPHALT SHINGLES
5.	METAL GUARDRAIL
6.	METAL STAIR



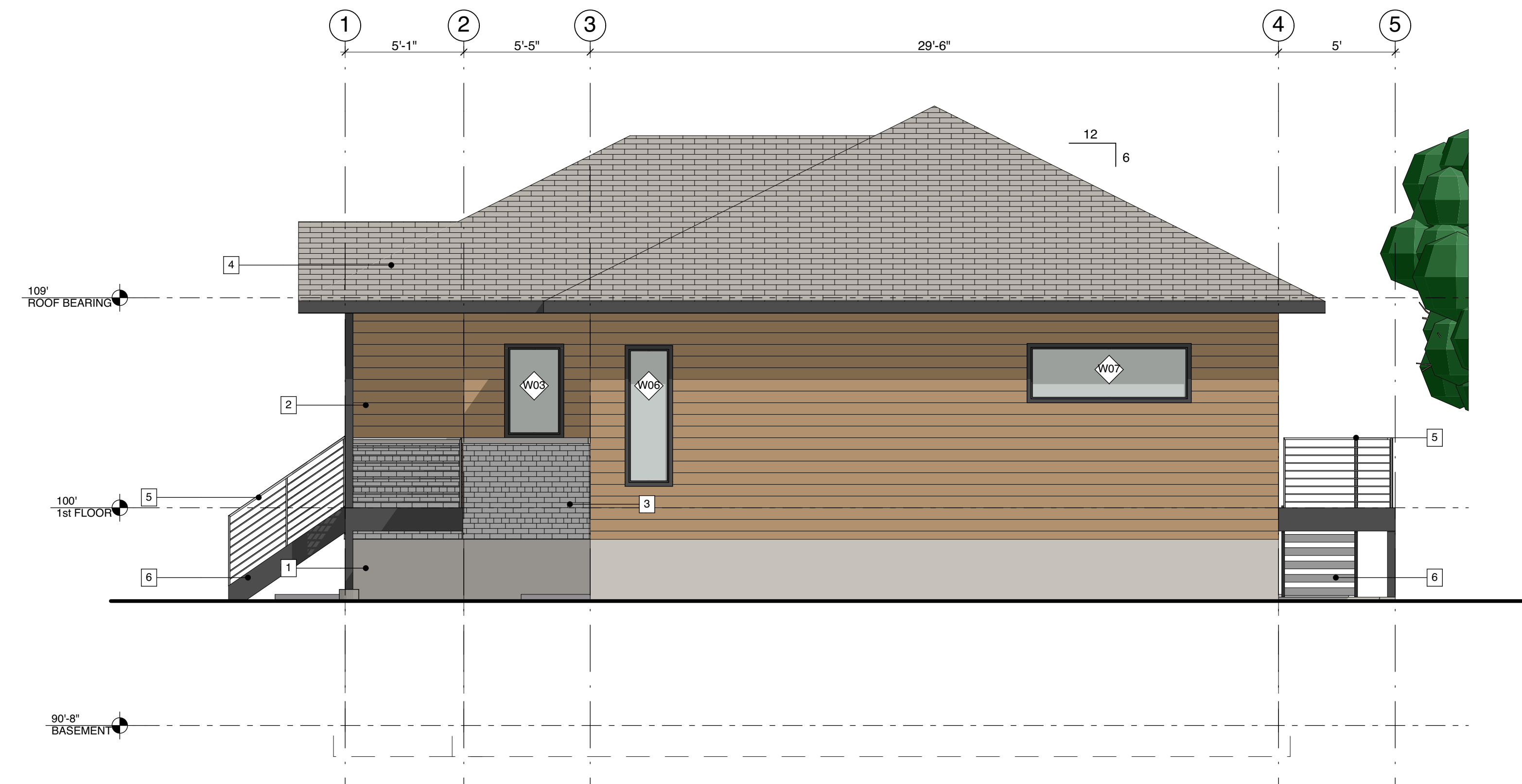
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



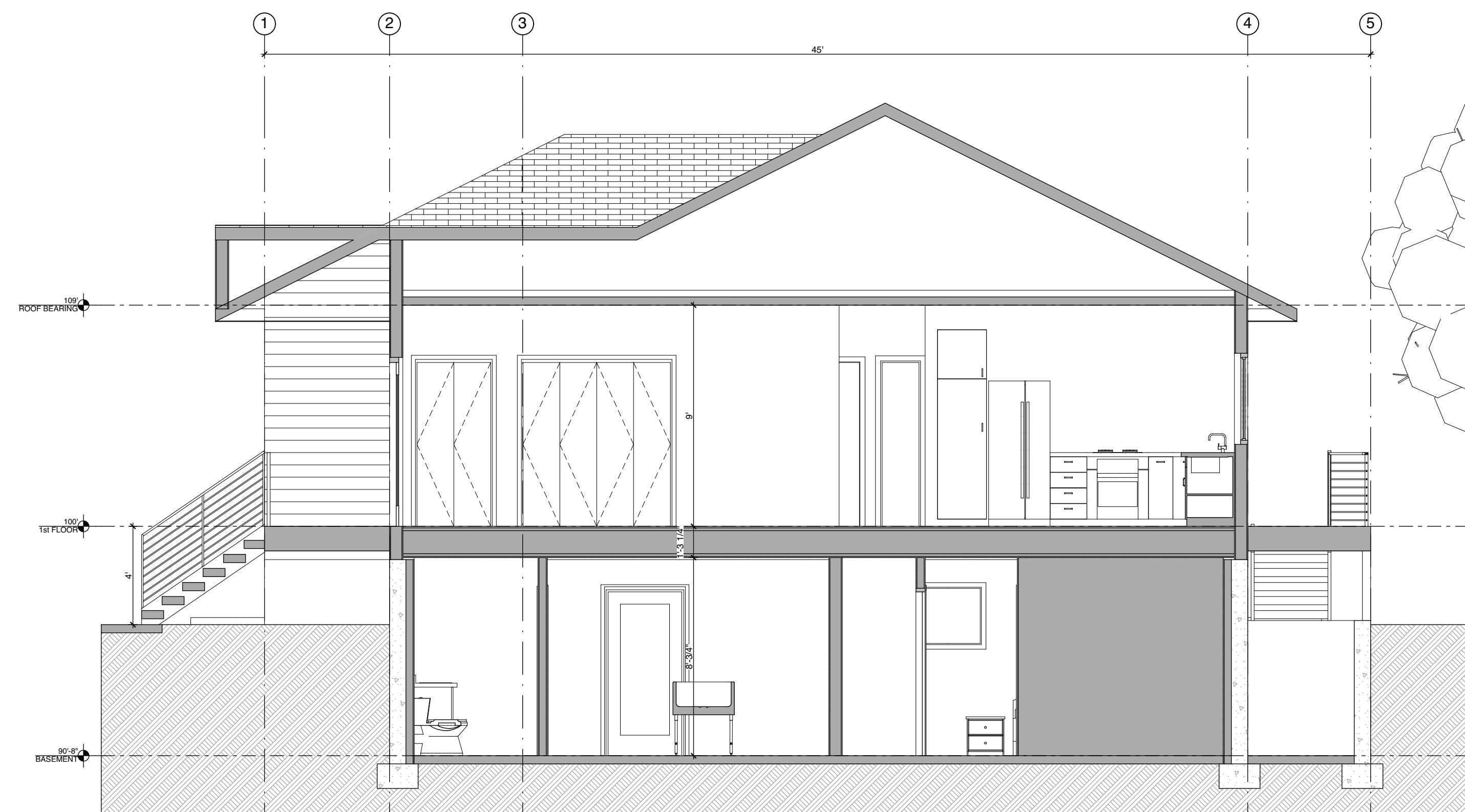
2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



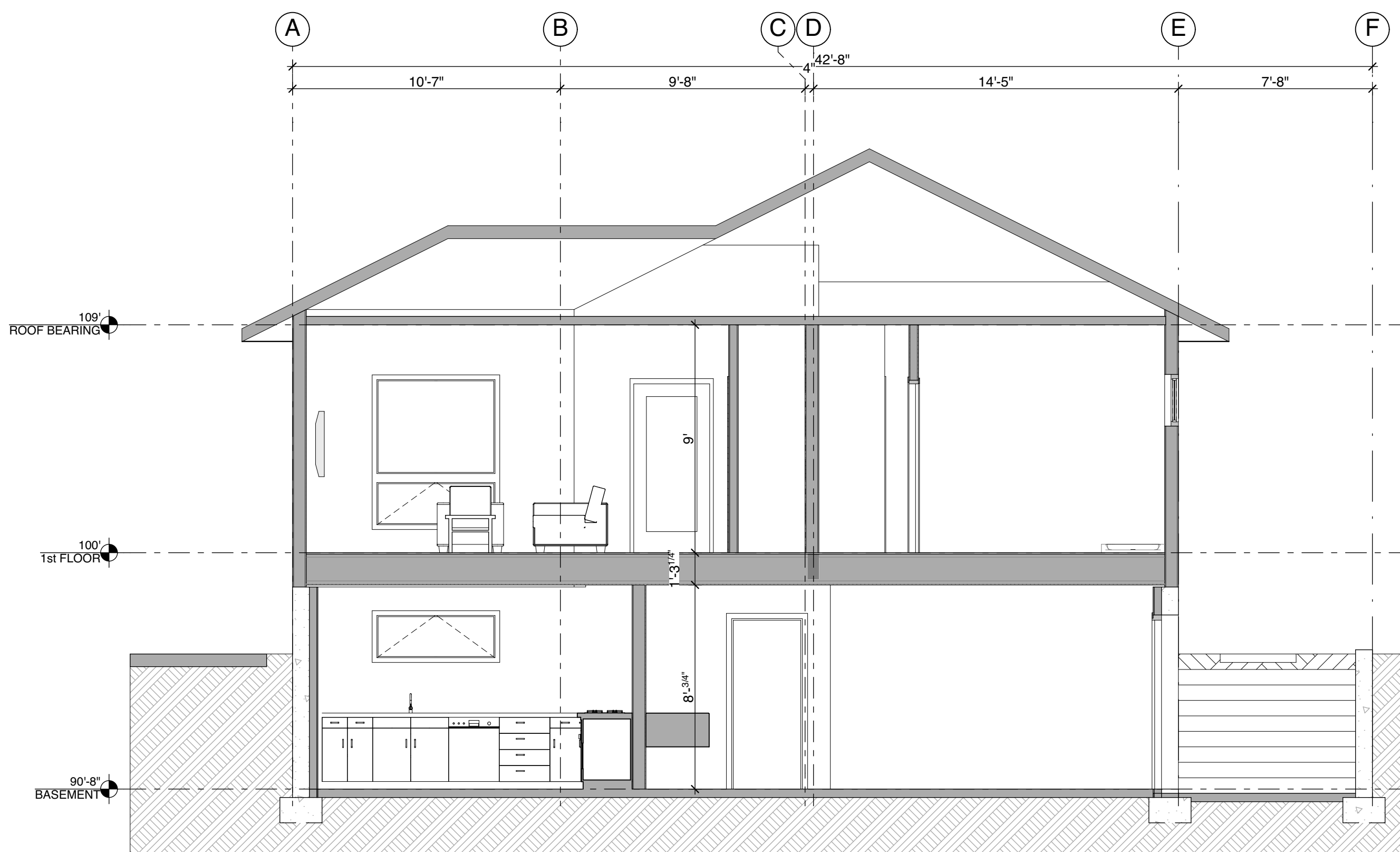
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NS BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 EW BUILDING SECTION
SCALE: 1/4" = 1'-0"

ATTACHMENT C – APPLICATION NARRATIVES



**357 SOUTH 200 EAST #211
SALT LAKE CITY, UT 84111
WWW.BRACHDESIGN.COM
801-865-7648**

May 20, 2019

Salt Lake City Planning Office
451 South State St.
Room 215

To Whom It May Concern,

The owner of 1017 S. Navajo St. seeks to subdivide parcel 15113010010000 into 2 parcels. Owner has received preliminary subdivision approval (case# PLNSUB2018-00539).

Parcels are to be zoned R-1-5000, which calls for a front yard setback established by the average front yard of existing buildings within the block face. In this case, that average would be approximately 28'-10". This would allow for a maximum building depth of only 31'-2".

Owner is applying for Planned Development to stipulate front yard setback of 20' (equal to R-1-5000 front yard setback where there are no buildings within the block face). This would allow for a maximum building depth of 40', closer to the average building depth in this neighborhood. Owner is also applying for a grade change greater than 4' in the side yard and rear yard associated with the new building design. The grade changes would be 5.5' in both cases and would be supported by retaining walls.

Owner seeks to remove a somewhat blighted concrete masonry unit garage building and construct a new bungalow style house that incorporates "green" building techniques such as enhanced envelope airtightness, increased insulation and a whole-house ventilation system to filter the incoming air and exhaust stale air (leading to higher indoor air quality). The new house will fit into the context of the neighborhood where many bungalow style houses exist.

Sincerely,

A handwritten signature in black ink, appearing to read 'TC'.

Tom Candee, Licensed Architect
801-258-1028
tom@brachdesign.com



**357 SOUTH 200 EAST #211
SALT LAKE CITY, UT 84111
WWW.BRACHDESIGN.COM
801-865-7648**

July 18, 2019

Salt Lake City Planning Office
451 South State St.
Room 215

To Whom It May Concern,

Standards for Planned Developments for 1335 Mead House/ADU PD

A. The PD will meet the Housing standard by containing an ADU. The ADU will provide “missing middle” housing that SLC sorely needs in 2019. This housing type is new and therefore, not commonly found in the neighborhood.

The PD will also meet the Sustainability standard. This house will be built using passive house principles, the most rigorous energy standard in the US today. The house will feature exceptional insulation values, airtightness values and will use a whole-house ventilation system not commonly found in this neighborhood. All of this will lead to dramatically lower energy use.

B. The plan is compatible with the R-1/5,000 zone. Via the PD process we seek to amend the front setback of that zone. Plan also seeks to lower the grade more than 4' in a side setback. Otherwise, the plan is applicable to the site.

C. The plan is compatible in scale with the homes in the neighborhood. The design style is modern bungalow, also compatible with existing neighborhood housing stock.

D. The landscaping plan is consistent with typical single family home design. A new parking strip tree will be planted. Drought tolerant species of grass will be employed. Distinct paths will be provided for house and ADU.

E. The ADU does not require a parking spot as it is within ¼ mile of a bus stop. Two parking spaces are provided for the house. The development encourages use of the bus with close proximity. The site is walkable and has infrastructure that encourages walking.

F. All existing site trees are to be preserved. New trees will be planted to preserve the character of the neighborhood.

G. All existing utilities will adequately serve the development.

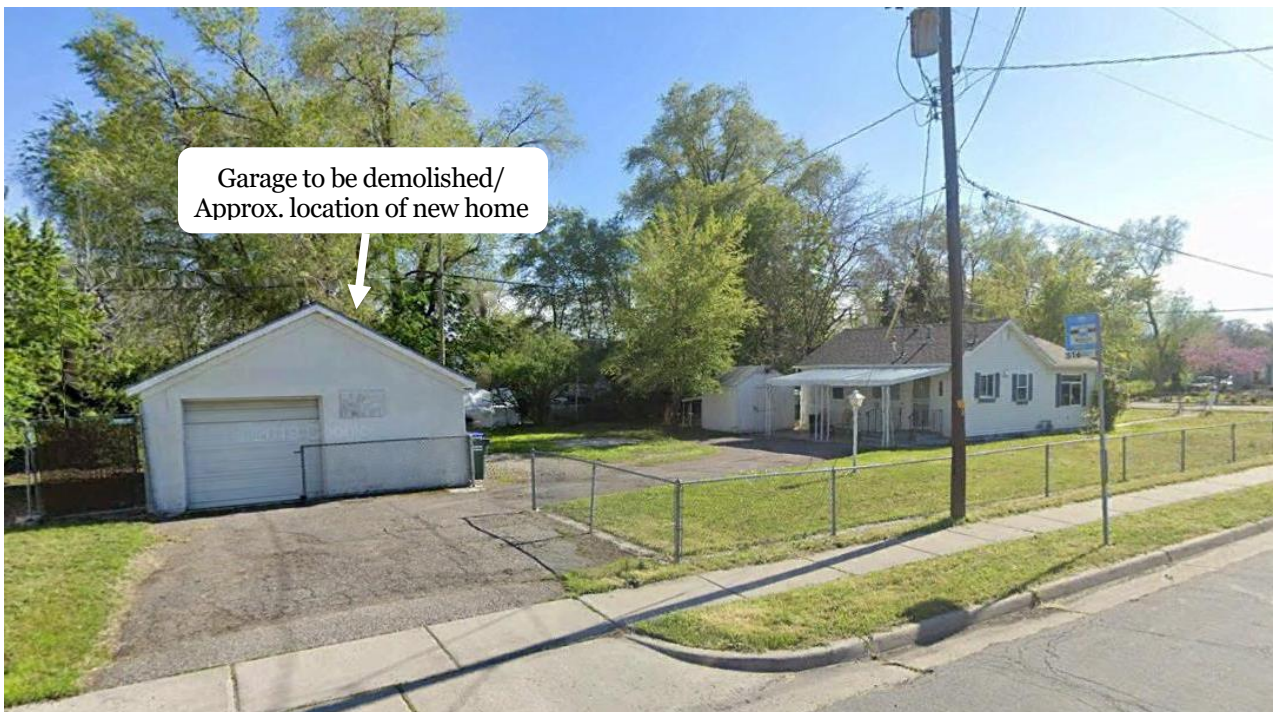
Sincerely,

Tom Candee, Licensed Architect
801-258-1028
tom@brachdesign.com

ATTACHMENT D – PROPERTY AND VICINITY PHOTOS

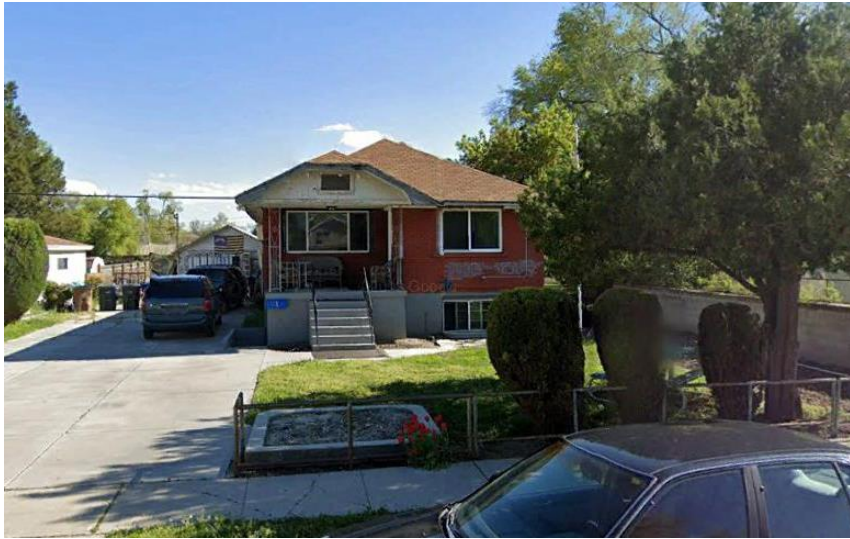


Overall project site facing southeast from Navajo Street



Garage to be demolished/
Approx. location of new home

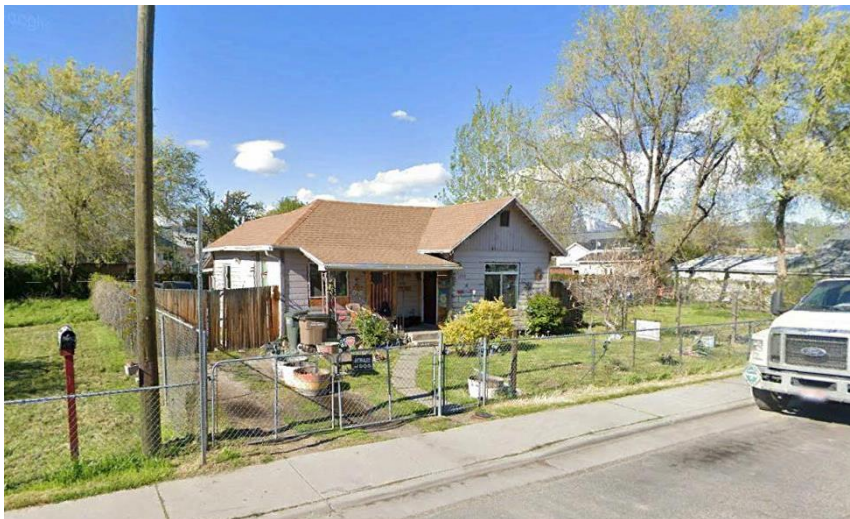
Overall project site facing southwest from Mead Avenue



Adjacent property to the east on Mead Avenue



Property across the street from existing home on Navajo Street



Property across the street from proposed new home on Mead Avenue

ATTACHMENT E: R-1/5,000 ZONING STANDARDS

Existing Conditions: The subject property is zoned R-1/5,000. Should the Planned Development request receive approval, the following standards will need to be met at the time of the request for a building permit for any developments on the newly created lots.

Standard	Finding	Rationale
Minimum Lot Area And Lot Width: 5,000 square feet per single family detached dwelling unit and 50' of lot width.	Complies	Lot 1: 6,646 SF, 83' lot width Lot 2: 5,833 SF, 72' lot width
Maximum Building Height: Varies depending on type of structure (pitched or flat roof) built on subject lots. Maximum building height: 28' Maximum wall height: 20'	Complies	Lot 1: Existing home to remain. No modifications proposed. Lot 2: 21'-2 3/4"
Minimum Front Yard Requirements: The minimum depth of the front yard for all principal buildings shall be equal to the average of the front yards of existing buildings within the block face. Where there are not existing buildings within the block face, the minimum depth shall be twenty feet (20'). Where the minimum front yard is specified in the record subdivision plat, the requirement specified on the plat shall prevail. For buildings existing on April 12, 1995, the required front yard shall be no greater than the established setback line of the building.	Complies with Planning Commission approval.	The applicant is requesting relief from front yard block face average of approximately 28' 10". Setback requested is 20'.
Interior Side Yard: Four feet (4') on one side and ten feet (10') on the other.	Complies with Planning Commission approval.	The applicant is requesting a 2-foot obstruction for a staircase within the 4' side yard setback on Lot 2.
Rear Yard: 25% of the lot depth or 20' whichever is less.	Complies with Planning Commission approval.	The applicant is requesting a 2-foot obstruction for a staircase within the 20' rear yard setback on Lot 2.
Accessory Buildings and Structures in Yards: Accessory buildings and structures may be located in a required yard subject to sections 21A.36.020, table 21A.36.020B of the Code.	Complies	No accessory building or structures are proposed in required yards.
Maximum Building Coverage: The surface coverage of all principal and accessory buildings shall not exceed forty percent (40%).	Complies	Lot 1: 12% Lot 2: 21.25%
Standards For Attached Garages: The width of an attached garage facing the street may not exceed fifty percent (50%) of the width of the front facade of the house. The width of the garage is equal to the width of the garage door, or in the case of multiple garage doors, the sum of the widths of each garage door plus the width of any intervening wall elements between garage doors.	Complies	An attached garage is not proposed.

ATTACHMENT F: PLANNED DEVELOPMENT STANDARDS

21a.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
<p>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The planning commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.</p>	<p>Complies</p>	<p><i>(Must only meet one objective to qualify for a Planned Development)</i></p> <p>The applicant’s narrative identifies several Planned Development objectives they seek to achieve with the proposal. Staff has determined the proposal meets at least the following Planned Development objectives:</p> <p>C. Housing: <i>Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:</i></p> <ul style="list-style-type: none"> <i>The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.</i> <p>The applicant’s proposal achieves objective C, as the proposed subdivision would promote the preservation of the existing home on the lot that contributes to the character of the neighborhood, while providing for two new dwelling units. The proposed subdivision would encourage the development of a single-family home on the vacant portion of the site. This would create a more pleasing environment than having an underutilized lot on the block, or an oversized addition/home that’s out of character with the rest of the homes in the neighborhood. A single-family development with an attached Accessory Dwelling Unit would also most likely preserve the historic grade on the block face.</p> <p>The ADU will provide a type of housing not commonly found in the Westside neighborhood, which provides a more affordable unit while allowing the homeowner to make an income, therefore encouraging them to remain in the home and neighborhood long-term.</p> <p>E. Sustainability: <i>Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:</i></p> <ul style="list-style-type: none"> <i>Energy Use And Generation: Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource.</i> <p>The applicant has stated that their proposal achieves objective E, as the proposed new home would be constructed as a “passive house” that is highly energy efficient with features such as increased insulation and whole house ventilation system. Staff thoroughly reviewed the Passive House Institute standards and feels the proposal meets this objective.</p>

		<p>F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:</p> <ul style="list-style-type: none"> • A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features. (Ord. 8-18, 2018) <p>The proposal also meets objective F, as the Westside Master Plan calls for creative infill techniques to increase the housing supply in the area, while keeping with the established community character. Accessory Dwelling Units are not commonly found in the Westside neighborhood, but are able to accommodate additional housing units while keeping with the character and scale of the neighborhood. Additionally, the Westside Master Plan specifically calls for ADU's as a way to increase density in the area.</p>
<p>B. The proposed planned development is generally consistent with adopted policies set forth in the citywide, community, and/or small area master plan that is applicable to the site where the planned development will be located.</p>	<p>Complies</p>	<p>The subject property is within the Westside Planning Area. The project is consistent with the following master plan statements for the neighborhood:</p> <ul style="list-style-type: none"> • Find sustainable options for underutilized lands within these stable, single-family neighborhoods. <p>The proposal is supported by the following Master Plan policies:</p> <ul style="list-style-type: none"> • B.1 Determine unique and compatible ways to add incremental density through infill development. • B.1.a Infill Development. All new infill development, whether single-, two- or multi-family residential, should adhere to the prevailing development pattern in the immediate area. Some design elements that are used to increase density, such as height and bulk, can be made compatible through appropriate architectural and landscaping techniques. • B.1.b. Special Single-Family Allowances. The Salt Lake City Planning Division should explore regulatory options for permitting unique, single-family residential development within the existing single-family zoning districts. Examples of special single-family developments include small-lot, detached, single-family residential units on parcels that are currently considered too small for development and attached single family residential units. • B.1.e. Accessory Dwelling Units. Salt Lake City should expand the geographic area where accessory dwelling units are permitted to include the single-family districts in the Westside. Application of the accessory dwelling unit ordinance in this community would provide opportunities for additional density and a wider variety of housing choices without impacting the predominant development pattern.

		Single-family residential homes are permitted in the R-1/5,000 zoning district. Accessory Dwelling Units are permitted under a Conditional Use.
	C. Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the planning commission should consider:	Complies The proposed planned development would promote the development of underutilized space in the neighborhood with a single family home similar in size and scale to the other homes on the block face. The reduced front yard setback would also be compatible with the size of other lots on the block face.
C 1	Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;	Complies The building is designed to comply with height and lot coverage limits and is considered compatible with adjacent properties.
C 2	Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;	Complies The design of the new home is more modern than homes typically found in that immediate block, however; there are examples in the surrounding area of similar modern design. The smaller building scale, as well as the pitched roofline make the design context appropriate. The building is proposed to be constructed of brick and wood/hardiboard.
C 3	Whether building setbacks along the perimeter of the development: a. Maintain the visual character of the neighborhood or the character described in the applicable master plan. b. Provide sufficient space for private amenities. c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise. d. Provide adequate sight lines to streets, driveways and sidewalks. e. Provide sufficient space for maintenance.	Complies The proposed setbacks and buffers are adequate to minimize impacts to adjacent properties. Although the subdivision would create one new lot with requested reduced setbacks, the lot coverage of both lots is 12% for Lot 1 and 21% for Lot 2. The small footprint of the homes allows a great deal of open space on each lot. Additionally, the east façade of the new home is approximately 35 FT from the nearest single family residence on an adjacent parcel.

C 4	Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;	Complies	The modern design of the home adds visual interest to the streetscape.
C 5	Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;	Complies	The lighting proposed is typical of a single family residential buildings and is not anticipated to have adverse impacts on neighboring properties.
C 6	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	Complies	As indicated on the site plan, trash/dumpster areas are located behind the parking areas and will be adequately buffered.
C 7	Whether parking areas are appropriately buffered from adjacent uses.	Complies	With the residential uses proposed, there are no visual or audible impacts anticipated with this project that would require buffering or other mitigation measures. The adjacent uses are also residential uses.
D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the planning commission should consider:		Must comply at the time of building permit issuance.	The site contains three mature tree and some shrubs. One new tree is proposed along the park strip. The applicant submitted a basic landscape plan, but detailed landscape plans will need to be submitted at the time of build permit issuance. Compliance will be ensured during the building permit stage of the proposal.
D 1	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	Complies	The planned development is preserving three existing trees in the development. The applicant will need to coordinate with the City's Urban Forester on the new tree placement along the periphery of the property in accordance with 21A.48.135.
D 2	Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;	Complies	Existing landscaping along the periphery will remain.
D 3	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	Complies	With the residential uses proposed, there are no visual or audible impacts anticipated with this project that would require buffering or other mitigation measures. The adjacent uses are also residential uses.
D 4	Whether proposed landscaping is appropriate for the scale of the development.	Complies	Tree species selection should be made in coordination with the City Forester.
E. Mobility: The proposed planned development supports citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the planning commission should consider:		Complies	The planned development will be served by existing streets and will not degrade the level of service on any street. The PD will not create any unusual pedestrian or vehicle traffic pattern or volumes that would not be normally expected based on the orientation of driveways, parking area location, and size, or hours of peak traffic. The level of traffic associated with the proposed PD will not unreasonably impair the use and enjoyment of the adjacent property.
E 1	Whether drive access to local streets will negatively impact the safety, purpose and character of the street;	Complies	See above.

E 2	Whether the site design considers safe circulation for a range of transportation options including: a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes;	Complies	The new home will have walkways that access the basement ADU and studio space. The site is intended to utilize the UTA bus stops in front of the property. It is found to be sufficient for the scale of the proposal.
E 3	Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;	Complies	See above.
E 4	Whether the proposed design provides adequate emergency vehicle access; and	Complies	Emergency vehicles can access the site from both Mead Avenue and Navajo Street. Compliance through the Planned Development review does not guarantee compliance with the International Fire and Building Codes and it does not guarantee the issuance of any building permit. This will be reviewed during the building permit phase of this project.
E 5	Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	Complies	Mechanical areas and trash enclosures are interior to the development site.
F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.		Complies	The existing building on the property is not in a local or national historic district. There are no historical, architectural, or environmental features on this site that require preservation. However, the subdivision allows for the retention of the existing single family home on Lot 1, promoting the preservation of the scale of homes on the block face.
G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.		Must comply at the time of building permit issuance.	The proposal has adequately shown the ability to comply with all other applicable code or ordinance requirements at this time. However, Public Utilities provided comments in Attachment J that will need to be addressed at the time of building permit issuance.

ATTACHMENT G – ZONING STANDARDS FOR ADU’S

21A.40.200 – Accessory Dwelling Units

Accessory dwelling units located within a single family dwelling shall comply with the following standards:

ADU STANDARDS	PROPOSED	FINDING
<p>SETBACKS Any addition shall comply with the building height, yard requirements, and building coverage requirements of the underlying zoning district or applicable overlay district unless modified by the Historic Landmark Commission for a property located within an H Historic Preservation Overlay District.</p>	<p>The single family home in which the ADU will be located is requesting relief from the front yard setback and encroachments within the side and rear yard setbacks.</p>	<p>Complies with Planned Development Approval</p>
<p>SIZE No accessory dwelling unit shall occupy more than fifty percent (50%) of the gross square footage of the single family dwelling. The square footage of an attached garage shall not be included in the gross square footage unless the accessory dwelling unit is located in a basement that includes habitable space below the garage.</p>	<p>Primary house is approximately 1,713 SF, ADU can be 50% of that or approximately 856 SF.</p> <p>The proposed footprint is approximately 767 SF.</p>	<p>Complies</p>
<p>ENTRANCE LOCATIONS Entrances to an accessory dwelling unit that are located within a single family dwelling shall only be permitted in the following locations:</p> <ol style="list-style-type: none"> 1. An existing entrance to the single family dwelling 2. Rear façade of dwelling 3. Corner side yard: setback must be at least 20’ from building façade 4. Exterior stairs leading to a second story: these can only be located in rear building elevation 5. Side yard: provide the side yard is at least 8’ in width 	<p>The entrance for the proposed ADU is oriented toward the rear façade of the dwelling.</p>	<p>Complies</p>
<p>PARKING Minimum of one parking space on site.</p> <p>*This requirement may be waived if there is legal on street parking along the street frontage of the property OR if it’s within ¼ mile of a transit stop.</p>	<p>One parking space provided on site.</p> <p>*On-site parking could be waived because they have one legal street parking space and two UTA bus stops in front of the site.</p>	<p>Complies</p>

ATTACHMENT F – CONDITIONAL USE STANDARDS

21A.54.080 Standards for Conditional Use

Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The proposed ADU use is located in the R-1/5000 zoning district which allows for an ADU to be approved through the conditional use process subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in [Attachment G](#), the ADU complies with the requirements of 21A.40.200.

Finding: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: The proposed ADU is anticipated in the R-1/5000 zoning district and is considered a use that is potentially compatible with adjacent and surrounding residential uses by being listed as a conditional use in the land use table. The ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the primary house on the property.

Finding: The proposed development and use is generally compatible with the surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The proposal is located in the Westside Planning Area within the Glendale neighborhood. The master plan designates the future land use of this area as low density residential and the existing zoning on the property is R-1/5000, single family residential.

The purpose of the R-1/5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units are to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;
- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;

- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Residential Land Use Goals included in the Westside Master Plan:

- B.1 Determine unique and compatible ways to add incremental density through infill development.
- B.1.a Infill Development. All new infill development, whether single-, two- or multi-family residential, should adhere to the prevailing development pattern in the immediate area. Some design elements that are used to increase density, such as height and bulk, can be made compatible through appropriate architectural and landscaping techniques.
- B.1.b. Special Single-Family Allowances. The Salt Lake City Planning Division should explore regulatory options for permitting unique, single-family residential development within the existing single-family zoning districts. Examples of special single-family developments include small-lot, detached, single-family residential units on parcels that are currently considered too small for development and attached single family residential units.
- B.1.e. Accessory Dwelling Units. Salt Lake City should expand the geographic area where accessory dwelling units are permitted to include the single-family districts in the Westside. Application of the accessory dwelling unit ordinance in this community would provide opportunities for additional density and a wider variety of housing choices without impacting the predominant development pattern.

The proposal is also consistent with the goals and policies outlined in *Growing SLC: A Five Year Housing Plan* which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Finding: The uses are consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).

21a.54.080B Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located	Complies	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/5000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height, setbacks, distance to other houses, etc. as outlined in Attachment G .
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps	Complies	The uses are located in an area zoned and designated by the associated master plan for low-density residential. This land use designation allows moderate sized lots (i.e., 3,000-10,000 square feet) where single-family detached homes are the dominant land use. Low-density includes single-family attached and detached

		<p>dwellings as permissible on a single residential lot subject to zoning.</p> <p>As discussed under Conditional Use standard 3 above, the proposed ADU is consistent with the purpose of the ADU ordinance, several residential land use policies in the Westside Master Plan and supports goals outlined in Growing SLC: a Five Year Housing Plan by providing more housing options, and creating a new housing unit that respects the scale of the neighborhood.</p>
3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area	Complies	Uses surrounding the property are generally single family residential. The proposal complies with the size requirements for an ADU which can be up to 50% of the homes square footage and is compatible with the scale of surrounding adjacent uses. As an attached basement ADU, it will have a minimal impact on the scale or surrounding character of the neighborhood.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered	Complies	As discussed above, the basement ADU is compatible in keeping with the single family character of the neighborhood.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows	Complies	The ADU will be accessed from the driveway and rear of the home. The proposal will not impede traffic flow.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic	Complies	The proposed ADU will be accessed from Mead Avenue and has one on-site parking spot provided. It's not anticipated that the addition of the accessory unit will create any adverse impacts in terms of motorized, non-motorized and pedestrian traffic.
7. The site is designed to enable access and circulation for pedestrian and bicycles	Complies	The site is designed for pedestrian access.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street	Complies	No unreasonable impacts to the service level of the alley or adjacent streets are anticipated.
9. The location and design of off-street parking complies with applicable standards of this code	Complies	As discussed in other areas of this analysis, one off-street parking space is provided to serve the ADU.
10. Utility capacity is sufficient to support the use at normal service levels	Complies	The Public Utilities department provided comments on the project. The Planned Development will need to comply with their comments at the time of building permit issuance. No unreasonable effects are anticipated as a result of the ADU.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts	Complies	The surrounding properties are all residential uses and the proposed use is also residential located within the single family home.
12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke	Complies	The use does not significantly impact sustainability plans. The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption.
13. The hours of operation and delivery of the use are compatible with surrounding uses	Complies	The proposed use is an accessory residential structure and is compatible with the surrounding uses are also residential.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses	Complies	Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
15. The proposed use does not undermine preservation of historic resources and structures	Complies	The property is not located within a Local or National Historic District and the proposal does not involve the removal of any historic resources or structures.

Finding: In analyzing the anticipated detrimental effects of the proposed use, Staff finds that the request complies with the criteria listed above.

ATTACHMENT I – PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- June 5, 2019 – The Glendale Community Council and property owners and resident within 300' were provided notice of the proposal.
- July 18th, 2019 - A City Open House was held on the project and one member of the public attended the open house. The open house attendee expressed concern regarding parking on Lot 1, which was resolved on an updated site plan.

Notice of the public hearing for the proposal included:

Public hearing notice mailed on July 31, 2019

Public hearing notice posted on August 1, 2019

Public notice posted on City and State websites and Planning Division list serve on July 31, 2019.

Public Input:

As of the publication of this Staff Report, Staff had not received any public comment. If Staff receives any future comments on the proposal following the publication of the staff report, they will be included in the public record.

ATTACHMENT J– DEPARTMENT REVIEW COMMENTS

Transportation: (Michael Barry at michael.barry@slcgov.com or 801-535-7147)

The parking minimum parking requirement for the subdivision appears to be met. The curb cut for Lot 1 appears to meet the setback of 5' from a fire hydrant and the 6' buffer from the adjacent property line could be waived.

Public Utilities: (Kristeen Beitel at Kristeen.Beitel@slcgov.com)

In regards to the Planned Development, Public Utilities is providing comment on the sewer lateral easement shown in the design drawings packet. Property is served by a 10" sewer main in Navajo Street. An easement will be required for the private sewer lateral that will cross the adjacent property to Navajo Street. Easement is currently shown on plan as 2 feet wide with the sewer lateral not included in the easement. The easement must be a minimum of 10 feet to allow for maintenance and operation of the sewer lateral. Additionally, the sewer lateral must run through the center of the easement, with adequate spacing on each side for maintenance of the sewer lateral.

Additional design review comments have been provided below to aid the applicant in preparing for a building permit for the site. These can be addressed at the time of building permit submittal:

- Public Utility permit, connection, survey, and inspection fees will apply.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must meet horizontal and vertical clearance requirements. Water and sewer lines require 10 ft minimum horizontal separation and 18" minimum vertical separation. Sewer must maintain 5 ft minimum horizontal separation and 12" vertical separation from any non-water utilities. Water must maintain 3 ft minimum horizontal separation and 12" vertical separation from any non-sewer utilities.
- Property is served by a 6" water main in Mead Avenue. A separate water service will be required to the property. Only one culinary water service will be allowed for the new property. A fire line will be permitted, if required. Each service must have a separate tap to the main.
- The water meter for the property should be located on public property in the park strip.
- The water service must be type K copper and match the size of the water meter from the water main to the water meter and for three feet beyond the water meter. Water service can then upsize or change material. Material must be drinking water approved.
- Water service must run perpendicular to the water main from the connection to the water main to the water meter and for three feet beyond the water meter. Water service can then bend as needed.
- Any fire suppression system must be provided water service by a separate fire line connection. Fire suppression systems cannot be provided water from a culinary water service.
- New sewer lateral must be SDR35 PVC.
- Sewer lateral must gravity drain all floors and meet minimum slope requirements (2% for 4" laterals, 1% for 6" laterals). Permit plans must provide invert elevations of the sewer lateral at the connection to the building and the connection to the sewer main and the finished floor elevation of the lowest finished floor.
- A minimum of one exterior cleanout is required on the sewer lateral within 5 feet of the building. Additional cleanouts are required at each bend and at least one every 50 feet for 4" laterals and every 100 feet for 6" laterals.
- Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks.

Comments are the same for the ADU proposal.

Zoning Review: (Greg Mikolash at greg.mikolash@slcgov.com)

1. Need parcel numbers shown on each lot.
2. Applying for a grade change larger than 4' –special exception needed to take care of the grade change & the stairs need to be within the buildable area of the lot (PUD can take care of setback requirements).
 - a. **Planning Response:** *A Special Exception is **not** required. A grade change exception is within the Planning Commission authority under a Planned Development.*
3. Each lot will require a minimum of 50' width; lot lines are not dimensioned.
 - a. **Planning Response:** *Lot lines are dimensioned: Lot 1= 83'1, Lot 2: 72'11*
4. Each lot will require 33%+ landscaping in required yards; both, the front & corner lot will have to have 33%+ in the required yards.
 - a. **Planning Response:** *They appear to be over 33%, assuming the areas not shown as driveways or concrete paths are landscaped. I have suggested a landscape plan from the applicant, although it is not required as part of the planned development.*
5. All setbacks will be required to be met other than the front yard (20') according to PD – East house stairs in the rear of house and to the side of house included.
6. Corner lot must meet 20' setback to driveway (needs dimensioned)

Fire: (Ted Itchon 801-535-6636 or ted.itchon@slcgov.com)

All portions of all structures must be within 400' of a fire hydrant as measured by how a hose will be laid from the hydrant or a new fire hydrant must be installed. See IFC 507.5.1.

All portions of all structures must be within 150' of the fire apparatus location as measured by how a hose will be laid from the apparatus or fire sprinklers are required. See IFC 503.1.1.